

200

150

100

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General Notes:

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Stormwater to be discharged to Council's requirements and Australian Standards.
All services to be located and verified by the Builder with relevant

RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

NOT FOR CONSTRUCTION

TACHARA GROUP



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42 Dudley Street Pagewood, NSW 2035

NSW REG. 10694
ABN 65 614 218 192

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Contractor to verify aall dimensions on site prior to commencing work.
Tachara Group is to be notified of any discrepancies in the dimension and setting out of the work.

PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
COVER SHEET

PROJECT NO2020-020
SCALE: 1:1.43, 1:1000, 1:100, 1:1.
DRAWING NO: REV:
PLOT/REV: 3/12/22
A01 **[O]**

SITE DATA

Zone	Name	m ²
001	SITE AREA	457.07
002	LANDSCAPED AREA	174.26
003	SITE COVERAGE	150.41
004	IMPERMEABLE SURFACE	78.89

Development Data

Zone	Name	m ²
01	GROUND FLOOR	138.87
02	FIRST FLOOR	151.93
03	ALFRESCO	53.56
04	PORCH	14.44
06	BALCONY	11.22
		370.02 m²

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A02	3D VIEWS	A29	SHADOW DIAGRAMS - DECEMBER 21st
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A04	BASIX	A31	LANDSCAPE PLAN
A05	BASIX	A32	LANDSCAPE DETAILS
A06	SITE DEMOLITION PLAN	A33	FRONT BOUNDARY DETAILS
A07	DEEPSOIL PLAN	A34	SCHEDULE OF EXTERNAL FINISHES
A08	SITE PLAN / SITE ANALYSIS PLAN	A35	NOTIFICATION PLAN
A09	WASTE MANAGEMENT PLAN	A36	PHOTOMONTAGE - EXISTING
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A19	INTERIOR PLANS		
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A25	WINDOW SCHEDULES		
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LOCATION MAP

length in millimeters at full size

150

200



length in millimeters at full size



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PROJECT:
Proposed Residential Dwelling

CLIENT:
Mr & Mrs Naguib

113 Woodcott Street
Earlwood NSW 2206

DRAWING:
3D VIEWS

PROJECT NO:2020-020

SCALE: 1:5.02 @A3
DRAWING NO: REV:
PLOTTED: 31/10/2022

A02 [O]

General Notes:

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All boundary clearances must be verified by the surveyor prior to the commencement of any building works.

Where engineering drawings are required such must take preference to this drawing.

Stormwater to be discharged to Council's requirements and Australian Standards.

All services to be located and verified by the Builder with relevant authorities before any building work commences.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.
Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.
Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.
Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.
For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.
For all buildings:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.
Locations with underground power:
Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.
Locations with overhead power lines:
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.
All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.
All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to:
1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos
either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

9.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.
All work should be carried out in accordance with Practice: Managing Noise and Preventing Hearing Loss at Work.
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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B	DA/CC	Issued for DA/CC	23.09.20
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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:50 @A3
113 Woodcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 31/10/22
DRAWING: NOTES & LEGENDS	A03 [O]

General Notes:
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All services to be located and verified by the Builder with relevant authorities before any building work commences.

200

150

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10 20 30 40 50 100 150 200 length in millimeters at full size

Single Dwelling

Certificate number: 1141733S_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 22 February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	BTA-113 Woolcott Street Earlwood 2206_03	
Street address	113 Woolcott Street Earlwood 2206	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 211306	
Lot no.	3	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 51	Target 50

Certificate Prepared by	
Name / Company Name: Sustainability-Z Pty Ltd	
ABN (if applicable): 59622331935	

Description of project

Project address	
Project name	BTA-113 Woolcott Street Earlwood 2206_03
Street address	113 Woolcott Street Earlwood 2206
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 211306
Lot no.	3
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	457
Roof area (m²)	243
Conditioned floor area (m2)	231.0
Unconditioned floor area (m2)	15.0
Total area of garden and lawn (m2)	188

Assessor details and thermal loads		
Assessor number	DMN/13/1641	
Certificate number	0005256862-2	
Climate zone	56	
Area adjusted cooling load (MJ/m².year)	26	
Area adjusted heating load (MJ/m².year)	40	
Ceiling fan in at least one bedroom	Yes	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 51	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 60 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	6.0 square metres
floor - suspended floor/open subfloor	22.0 square metres
floor - suspended floor above garage	All or part of floor area

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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:1.67 @A3
113 Woolcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 31/02/22
DRAWING: BASIX	A04 [O]

General Notes:
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length in millimeters at full size

100

50

40

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20

10

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 6 of the bedrooms / study; dedicated		✔	✔

BASIX

Planning, Industry & Environment

www.basix.nsw.gov.au

Version: 3.0 / DARWINIA_3_15_1

Certificate No.: 1141733S_03

Monday, 22 February 2021

page 5/7

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 3 of the living / dining rooms; dedicated		✔	✔
• the kitchen; dedicated		✔	✔
• all bathrooms/toilets; dedicated		✔	✔
• the laundry; dedicated		✔	✔
• all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

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Certificate No.: 1141733S_03

Monday, 22 February 2021

page 6/7

RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

NOT FOR
CONSTRUCTION

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

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Version: 3.0 / DARWINIA_3_15_1

Certificate No.: 1141733S_03

Monday, 22 February 2021

page 7/7

TACHARA GROUP



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NSW REG. 10694
ABN 65 614 216 192

42 Dudley Street Pagewood, NSW 2035

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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:1.67 @A3
113 Woodcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 31/10/2022
DRAWING: BASIX	A05 [O]

General Notes:

All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work

Any discrepancies are to be brought to the attention of the designer.

Levels shown are approximate unless accompanied by reduced levels.

Figured dimensions must be taken in preference to scaling.

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Where engineering drawings are required such must take preference to this drawing.

Stormwater to be discharged to Council's requirements and Australian Standards.

All services to be located and verified by the Builder with relevant authorities before any building work commences.



length in millimeters at full size

Lot 12
D P 224894

Lot 6
D P 10212

Lot 2
D P 211306

LOT 3
D P 211306
AREA 457.1 m²

ALL BEARINGS ARE ON
MAGNETIC NORTH TAKEN FROM
DP211306 DATED 1962

Legend - Site

- Extent of site boundary
- Extent of new powder coated m.s security fence.
Refer also to fence detail & finishes schedule
- Extent of proposed new building
- Extent of existing building works to be removed /
demolished
- Extent of existing buildings on site to remain
- Existing trees to remain.
Refer also to Landscape drawing.
- Existing trees to be removed. Refer also to
Landscape drawing.
- Stormwater pit. Refer also to drainage drawing.
- Existing level. Refer also to survey.
- Proposed levels. Refer also to drainage drawing.
- Existing telstra pit. Refer also to survey.

SITE DEMOLITION PLAN

1:200

1

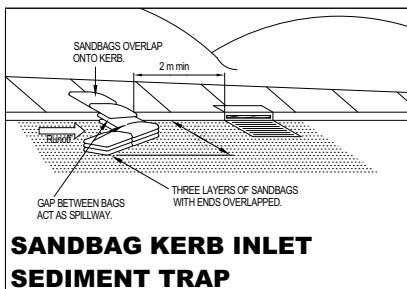


FIGURE 1

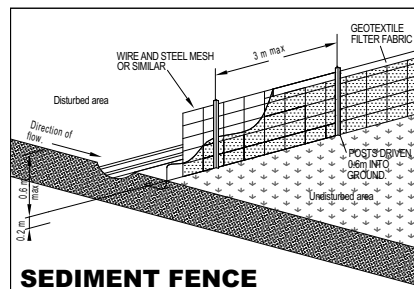


FIGURE 2

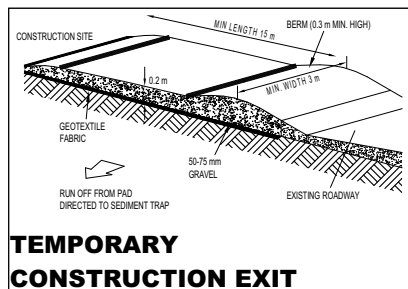


FIGURE 3

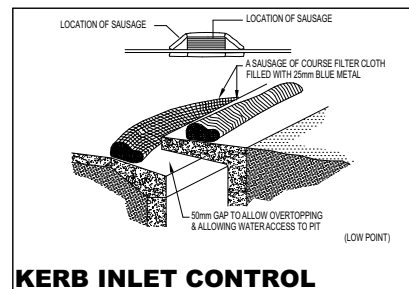


FIGURE 4

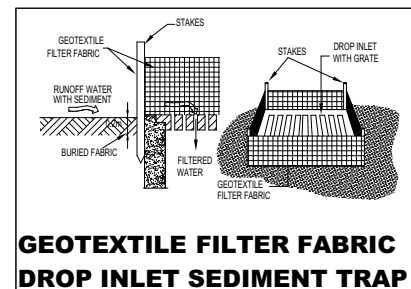


FIGURE 5

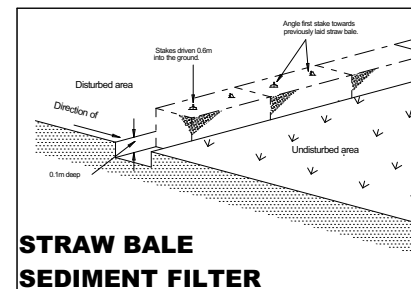
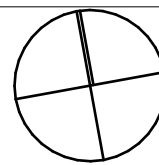


FIGURE 6

General Notes:
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All services to be located and verified by the Builder with relevant

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M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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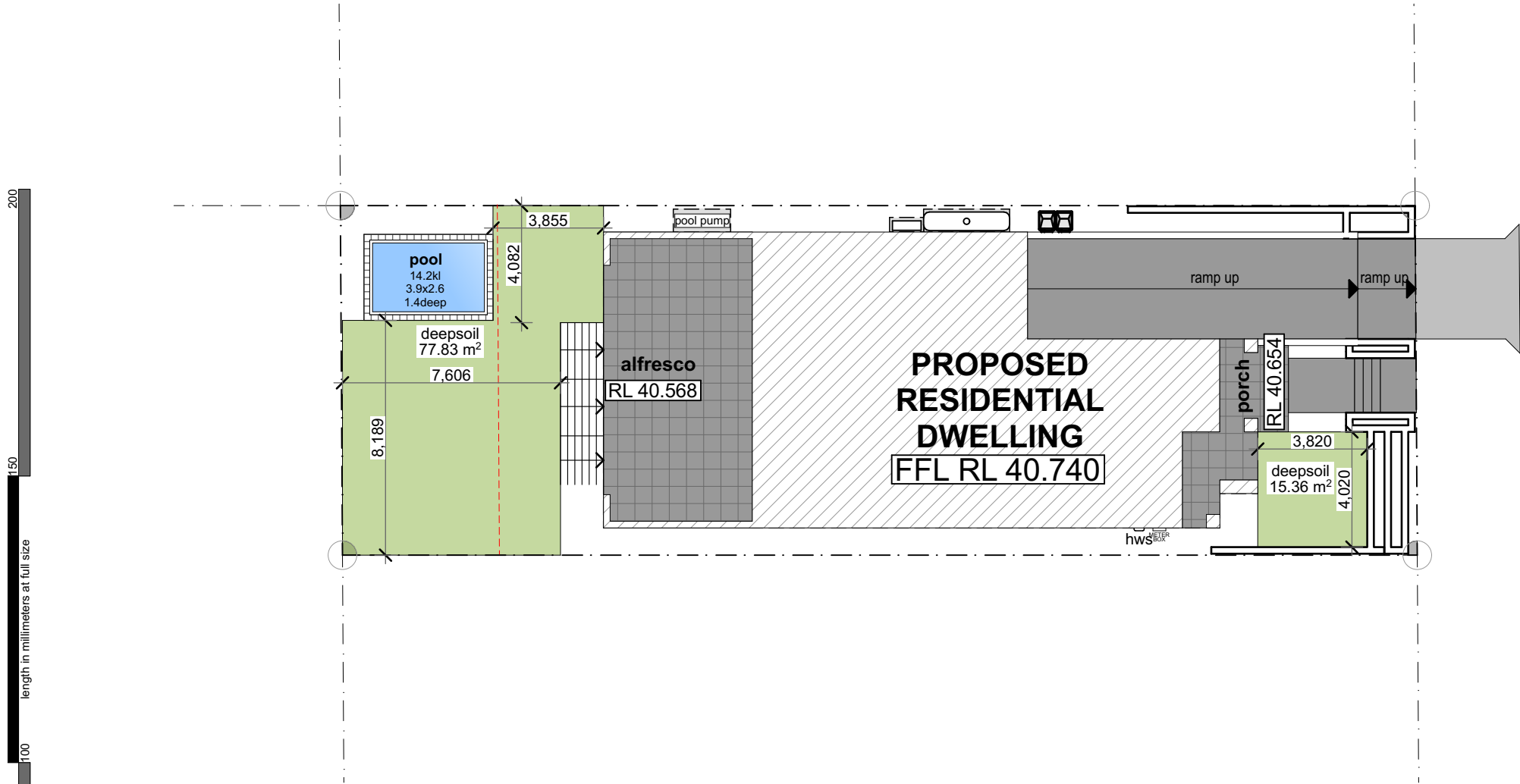
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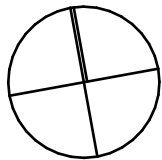
PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
SITE DEMOLITION PLAN

PROJECT NO:2020-020
SCALE: 1:100, 1:200, 1:125 @A3
DRAWING NO: REV:
PLOTTED: 31/12/22
A06 [O]



DEEPSOIL DATA	
Site Area:	457.07m²
20%required:	91.41m²
Provided:	93.19m²

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DEEPSOIL PLAN
1:200

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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:200, 1:100 @A3
113 Woodcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 31/10/2022
DRAWING: DEEPSOIL PLAN	A07 [O]

General Notes:
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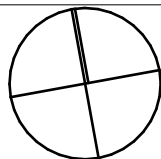


1



RevID	ID	Revision	Date
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N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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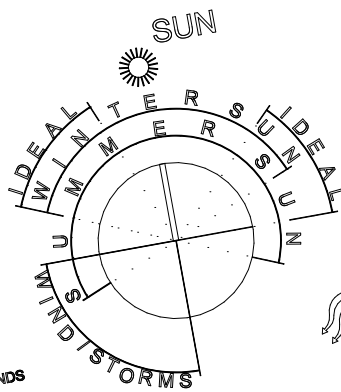
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street, Earlwood NSW 2206
DRAWING: SITE PLAN / SITE ANALYSIS PLAN

PROJECT NO:2020-020
SCALE: 1:100, 1:200, 1:125, 1:133
DRAWING NO: REV: [O]
A08

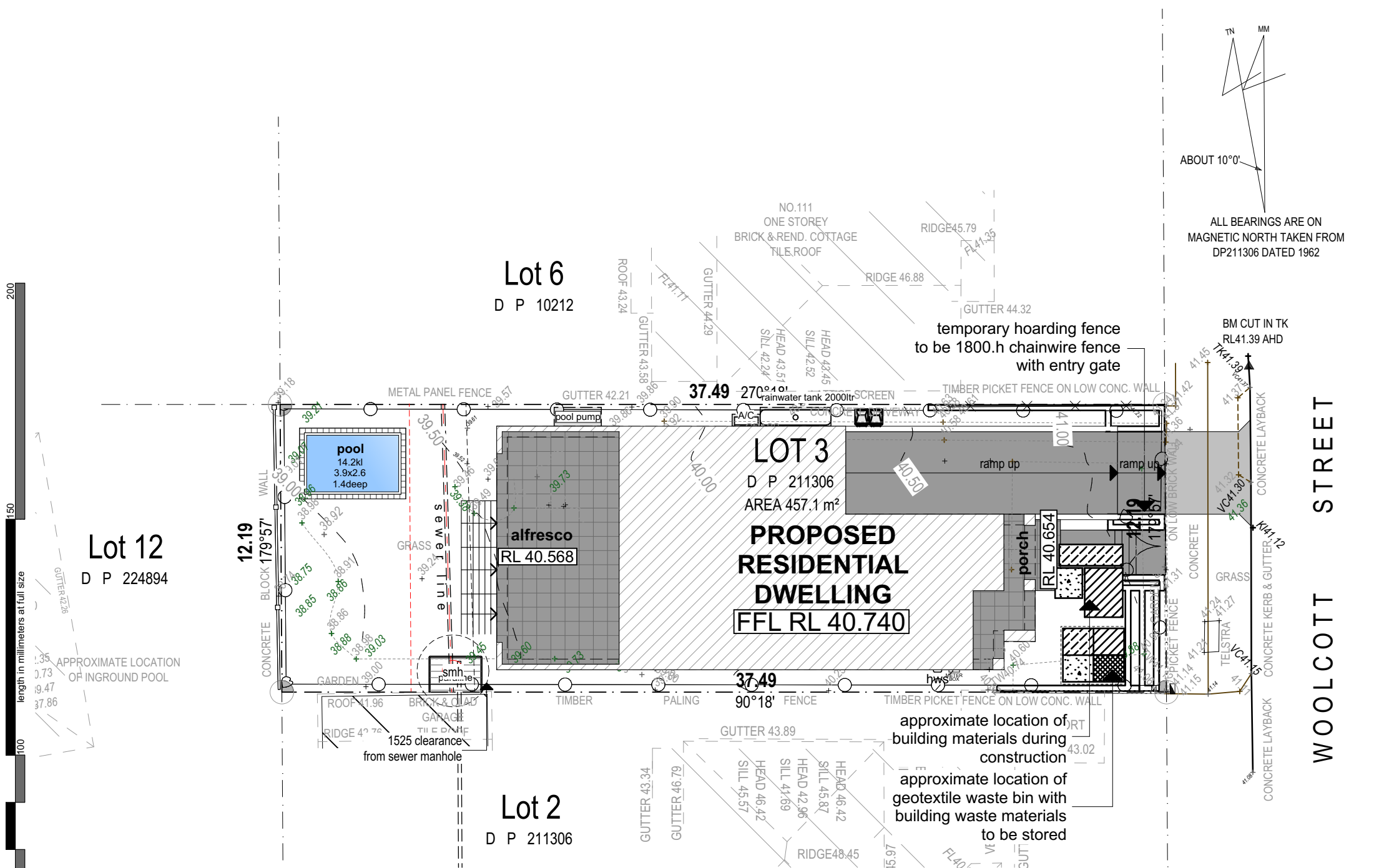
Legend - Site

- Extent of site boundary
- Extent of new powder coated m.s security fence. Refer also to fence detail & finishes schedule
- Extent of proposed new building
- Extent of existing building works to be removed / demolished
- Extent of existing buildings on site to remain
- Existing trees to remain. Refer also to Landscape drawing.
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- Stormwater pit. Refer also to drainage drawing.
- Existing level. Refer also to survey.
- Proposed levels. Refer also to drainage drawing.
- Existing telstra pit. Refer also to survey.



SITE PLAN / SITE ANALYSIS

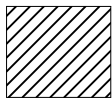
1:200



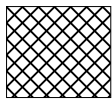
Destination of Materials during Construction Stage				
Materials On - Site		Destination		
Type of Material	Estimated Volume	Re-use & Recycling On-Site	Recycling Off-Site	Disposal
Excavation	NIL. Any soil can be re-used on site	Keep & re-use topsoil for landscaping. Store onsite. Use some in garden beds & behind retaining walls	N / A	N / A
Green Waste	NIL	N / A	N / A	N / A
Bricks	0.1 Tonne	separate adjacent to geotextile waste bin	'Rubbish Sydney' - Winston Ave 'John Y Group' - Earwood 'Fast Eddy' - Earwood	
Concrete	0.05 Tonne	on - site as all weather access	N / A	N / A
Timber	0.05 Tonne	stored separately in geotextile waste bin	'Rubbish Sydney' - Winston Ave 'John Y Group' - Earwood 'Fast Eddy' - Earwood	
Plasterboard	0.04 Tonne	stored undercover inside building	recycled by 'CSR'	'CSR'
Metals	0.02 m³	stored separately in geotextile waste bin	'Sydney Metal'	'Sydney Metal'
Other(eg. Tiles, paints, plastics, PVC tubing, cardboard)	0.02 Tonne	stored separately in geotextile waste bin	'Rubbish Sydney' - Winston Ave 'John Y Group' - Earwood 'Fast Eddy' - Earwood	

Site Management Legend During Construction

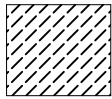
Materials



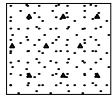
blockwork



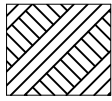
concrete



steel



sand & other

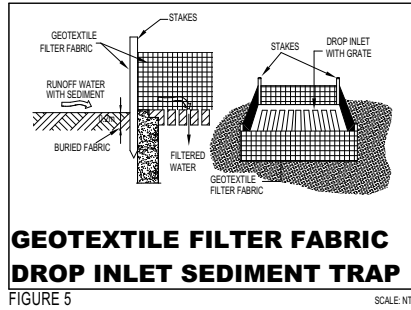
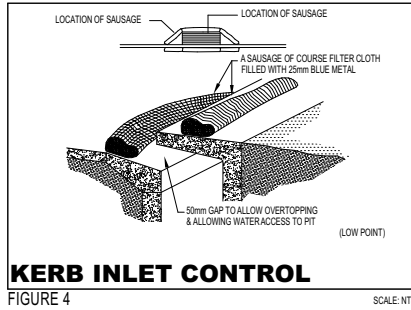
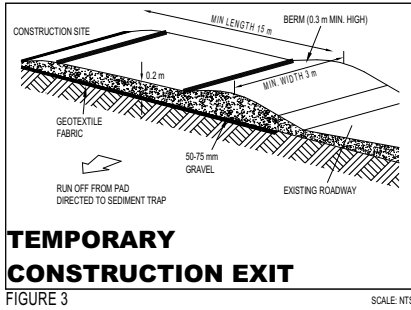
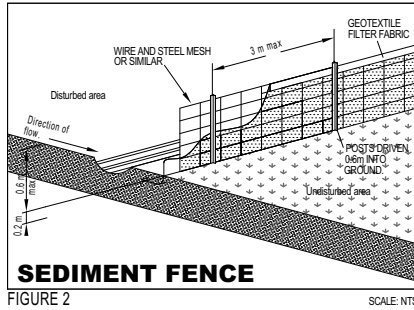
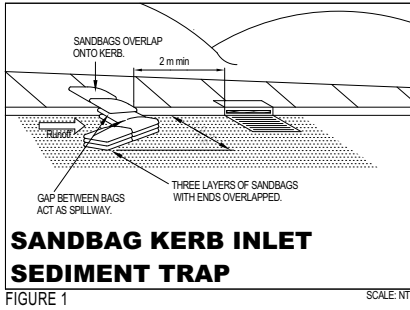


excavation material

1. CONSTRUCTION MATERIAL TO BE STACKED AWAY FROM WASTE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATION, BUILDERS & SUB-CONTRACTORS.

2. CONSTRUCTION WASTE SEGREGATED INTO SEPARATE STREAMS (& STORED IN HOPPERS).

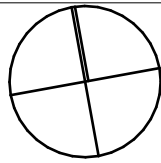
WASTE MANAGEMENT PLAN 1:200



General Notes:
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N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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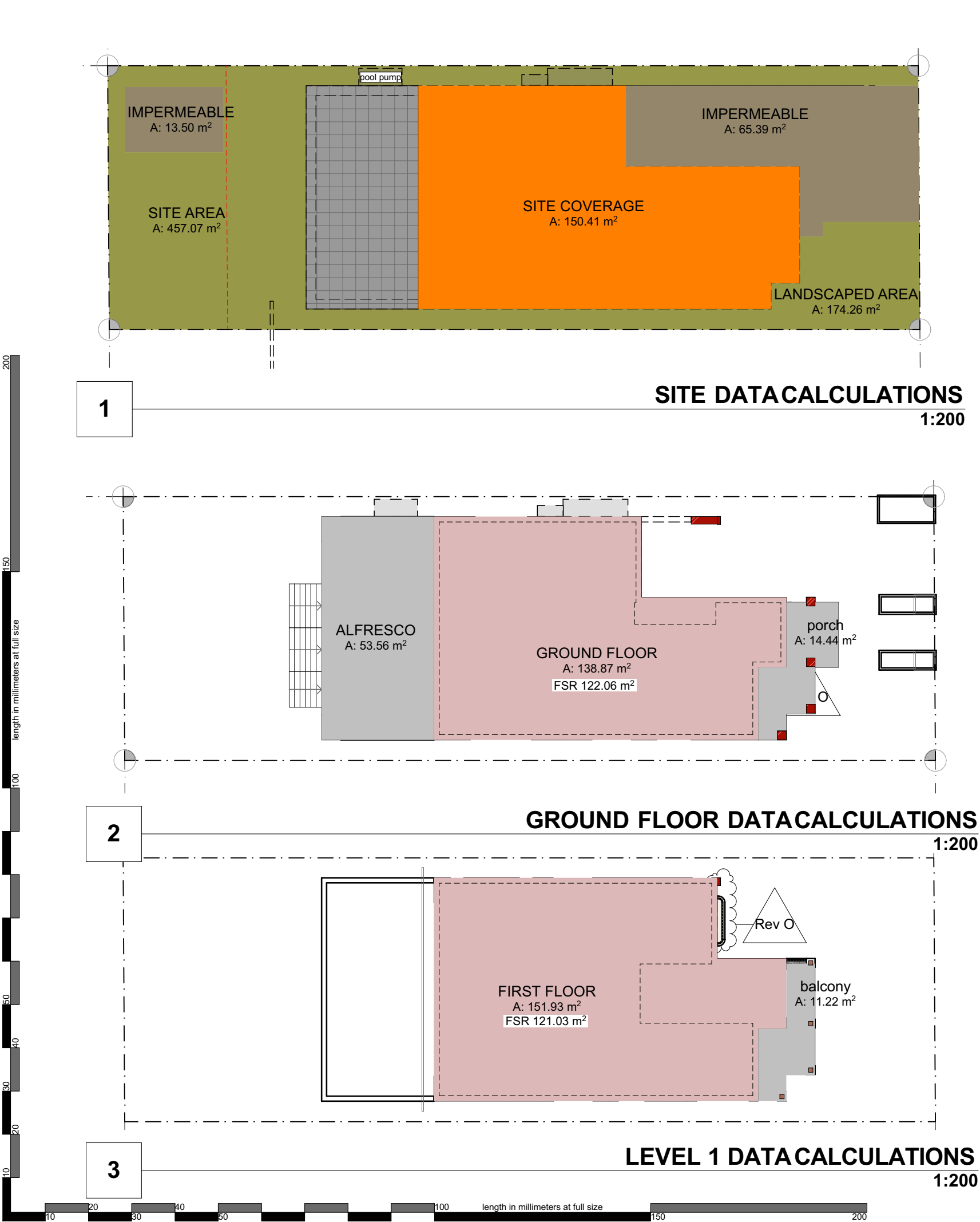
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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earwood NSW 2206
DRAWING:
WASTE MANAGEMENT PLAN

PROJECT NO:2020-020
SCALE: 1:200, 1:125, 1:100 @A3
DRAWING NO: REV:
PL017160-3/1/2022 [O]
A09



SITE DATA		
Zone	Name	m ²
001	SITE AREA	457.07
002	LANDSCAPED AREA	174.26
003	SITE COVERAGE	150.41
004	IMPERMEABLE SURFACE	78.89

Development Data		
Zone	Name	m ²
01	GROUND FLOOR	138.87
02	FIRST FLOOR	151.93
03	ALFRESCO	53.56
04	PORCH	14.44
06	BALCONY	11.22
		370.02 m ²

DEVELOPMENT DATA

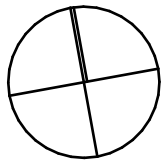
Site Area:	457.07m ²
Ground Floor Area:	138.87m ²
First Floor Area:	151.93m ²
Porch:	14.44m ²
Balcony:	11.22m ²
Laundry	1.99m ²
Basement Stair	4.65m ²
Basement Toilet	1.33m ²
Alfresco:	53.56m ²
Total Area:	377.99m ²

Total Floor Area: 251.06m²
(Inside face of external walls,less void, porch, balconies & garage)

FSR Permitted	0.55:1
FSR:	0.55:1

RevID	ID	Revision	Date
01 - WIP	DA/CC 01	S4.55 Issued for DA/CC	2020.01.21
D	DA/CC	Issued for DA/CC	21.01.21
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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:200, 1:1, 1:100, 1:8
113 Woodcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 31/10/2022
DRAWING: DEVELOPMENT DATA CALCULATIONS	A10 [O]

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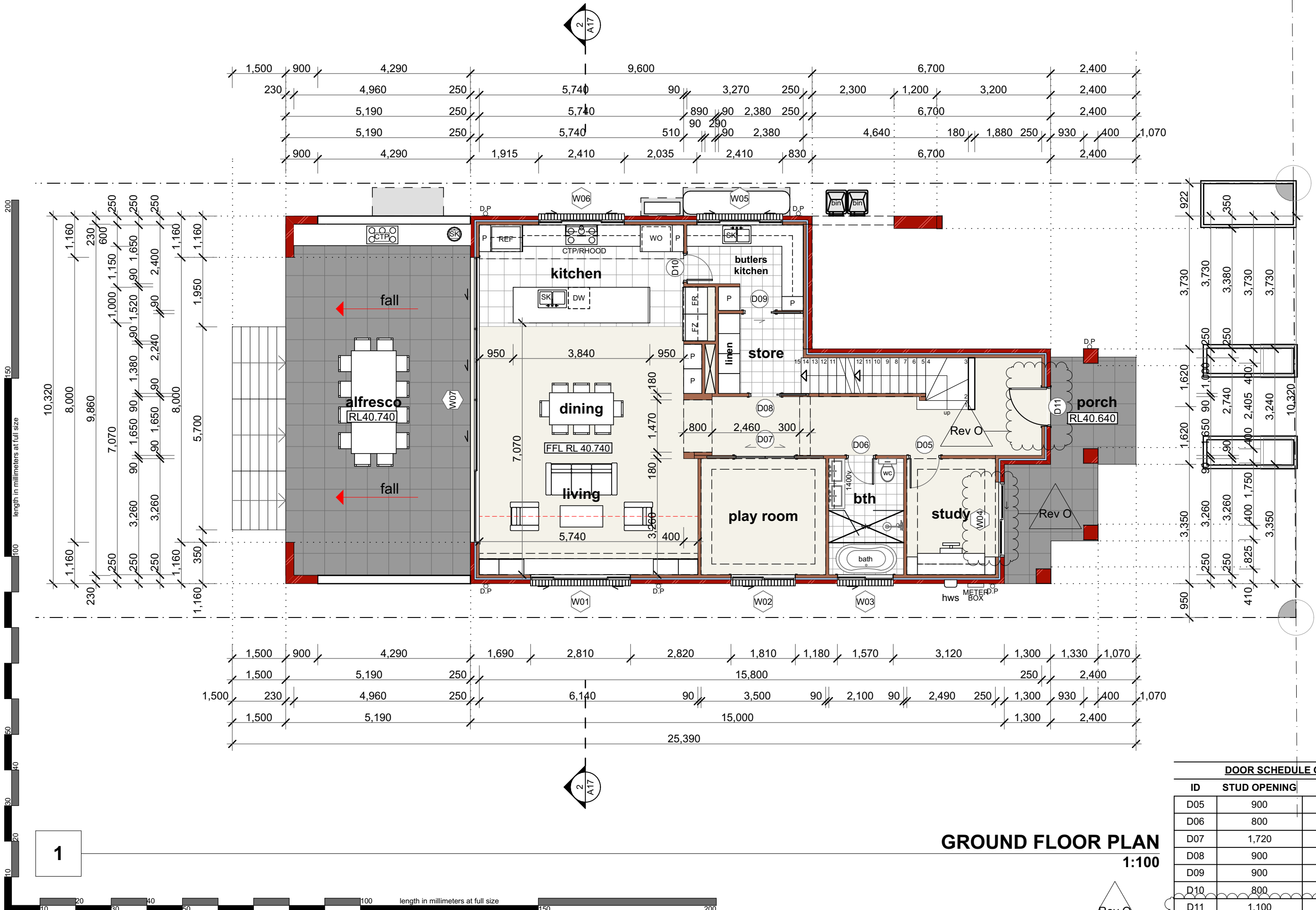
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BASIX DETAILS
Rainwater Tank – 2000L

Swimming Pool – 14.2kL
(Dimensions:L3.9m,W2.6m,
D1.4m)

Hot Water – 5 Star Gas
Instantaneous System

GROUND FLOOR PLAN

1:100

DOOR SCHEDULE GROUND FLOOR			
ID	STUD OPENING	HEIGHT	LEAF SIZE
D05	900	2,400	820×2,340
D06	800	2,400	720×2,340
D07	1,720	2,400	1,640×2,340
D08	900	2,400	820×2,340
D09	900	2,400	820×2,340
D10	800	2,400	720×2,340
D11	1,100	2,500	1,044×2,112

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CLIENT: Mr & Mrs Naguib

113 Woolcott Street
Earlwood NSW 2206

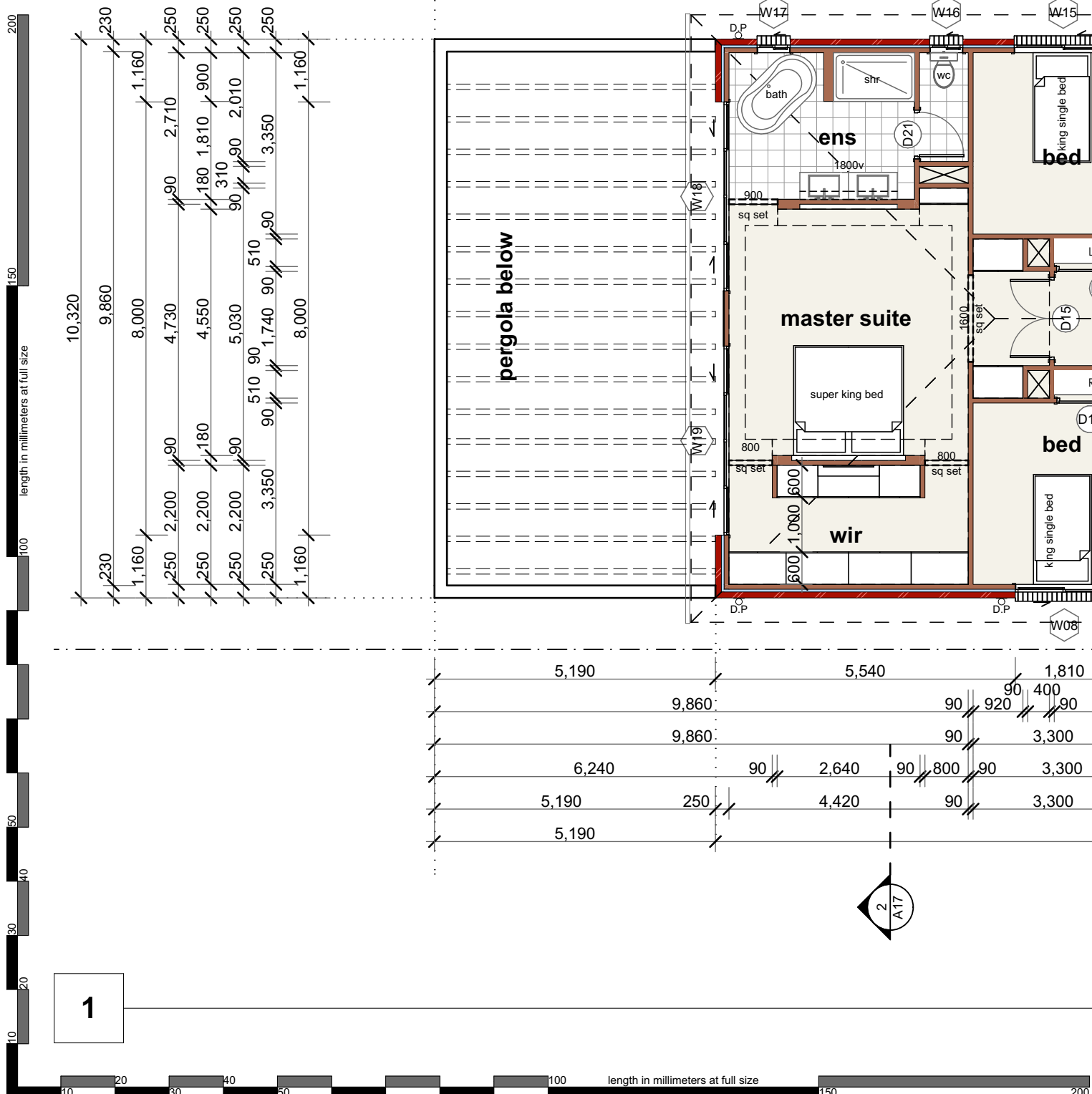
DRAWING: GROUND FLOOR PLAN

PROJECT NO:2020-020

SCALE: 1:100, 1:125 @A3

DRAWING NO: REV: [O]

A12



BASIX DETAILS
Rainwater Tank – 2000L

Swimming Pool – 14.2kL
(Dimensions:L3.9m,W2.6m,
D1.4m)

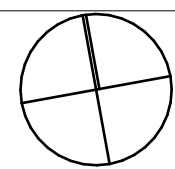
Hot Water – 5 Star Gas
Instantaneous System

DOOR SCHEDULE LEVEL 1			
ID	STUD OPENING	HEIGHT	LEAF SIZE
D12	900	2,400	820×2,340
D13	900	2,400	820×2,340
D14	1,700	2,400	1,620×2,340
D15	1,520	2,400	1,440×2,340
D16	1,700	2,400	1,620×2,340
D17	900	2,400	820×2,340
D18	900	2,400	820×2,340
D19	1,940	2,400	1,860×2,340
D20	1,940	2,400	1,860×2,340
D21	900	2,400	820×2,340

LEVEL 1 FLOOR PLAN
1:100

RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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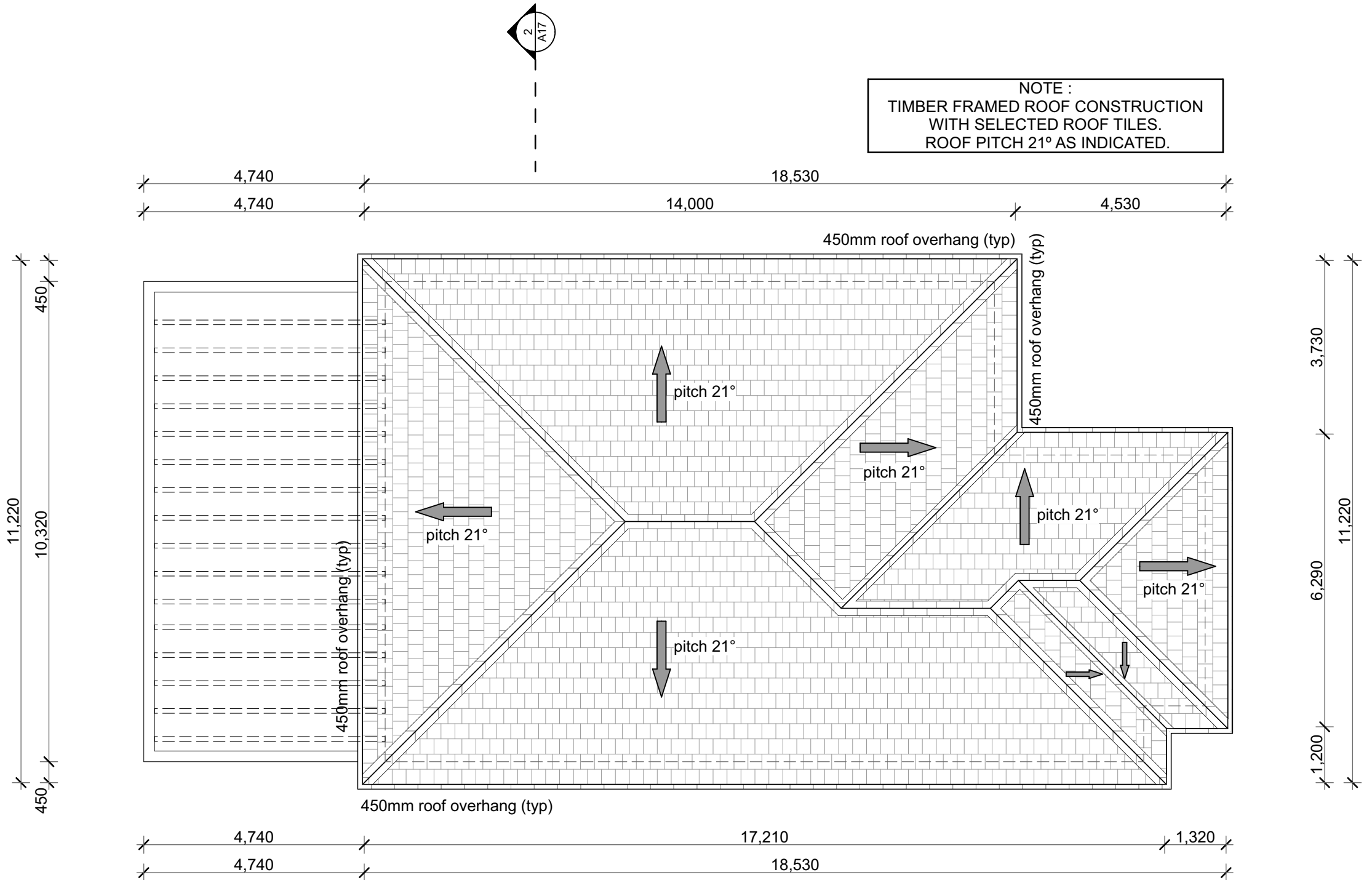
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street, Earlwood NSW 2206
DRAWING: LEVEL 1 FLOOR PLAN

PROJECT NO:2020-020
SCALE: 1:100, 1:125 @A3
DRAWING NO: REV: [O]
A13

General notes

- Verify on site all survey information including all existing services & levels prior to construction.
- Demolish existing structures & clear all vegetation as required and/or as shown on drawings, ready for new works. Dispose of demolished building materials and asbestos material encountered during demolition, except those items specifically identified for reuse.
- Terminate, cap off or divert of all existing services where so require and/or as necessary to carry out new works. Perform all works in best tradesman-like manner and to the satisfaction of relevant authorities.
- Refer to structural eng's documents for details of conc. Slabs, steps, footings including sizes of structural members. All timber framing sizes shall comply with the timber framing code.
- Comply with landscaping requirements as required by the council conditions and/or as detailed by landscape architect .
- Refer to hydraulic eng's details for location and levels of all storm water pits. Uno. Connect all downpipes into nearest existing storm water system as required and/or to hyd. Eng's details. Uno. Provide fall in ground finishes ensuring all storm water falls away from building. Lay paving with sufficient fall to pit to avoid ponding.
- Refer to hydraulic eng's details for details of sewer connection . Comply with relevant authorities requirements.
- Supply & install all electrical services including but not limited to, power, exit signs, emergency lifting & telephone supply to relevant aust standards & authorities requirements.
- Supply & install all mechanical ventilation including but not limited to, mechanical exhaust fans & ducts, air conditioning units & ducts to relevant aust standards & authorities requirements.
- Remove all redundant vehicle crossings & replaced with kerb & gutter to council's requirements. repair & reinstate to surrounds where disturbed by new works to council engineer's specification.
- Provide physical termite treatment in accordance with as 3660.1
- WC with inward swinging doors closer than 1200mm to the pan shall be fitted with lift off hinges as required by BCA.
- Uno. Provide 50mm set down in floor slab to all wet areas. Lay paving with sufficient fall to floor waste to avoid ponding.
- repair & reinstate to all surfaces, damaged / effected during new works
- At completion clean up the site prior to hand over. repair & reinstate to surrounds where disturbed during new works.



1

ROOF PLAN

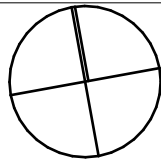
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General Notes:

All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work.
Any discrepancies are to be brought to the attention of the designer.
Levels shown are approximate unless accompanied by reduced levels.
Figured dimensions must be taken in preference to scaling.
All boundary clearances must be verified by the surveyor prior to the commencement of any building work.
Where engineering drawings are required such must take preference to this drawing.
Stormwater to be discharged to Council's requirements and Australian Standards.
All services to be located and verified by the Builder with relevant

RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING: ROOF PLAN

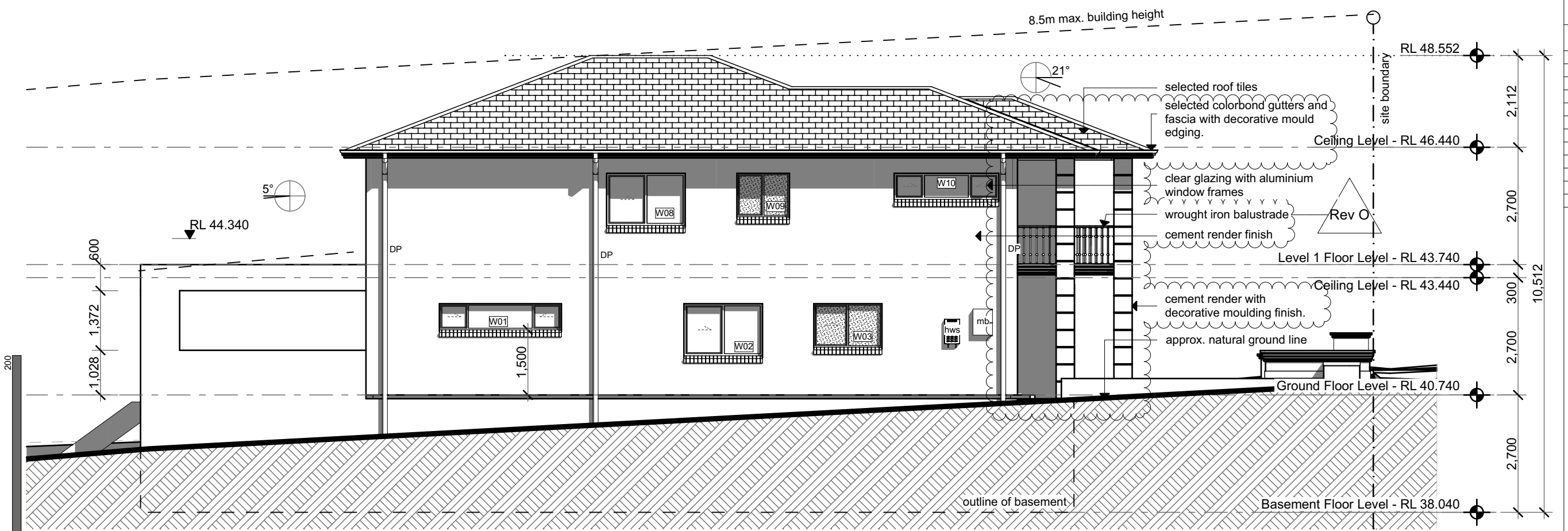
PROJECT NO:2020-020

SCALE: 1:100 @A3

DRAWING NO: REV:

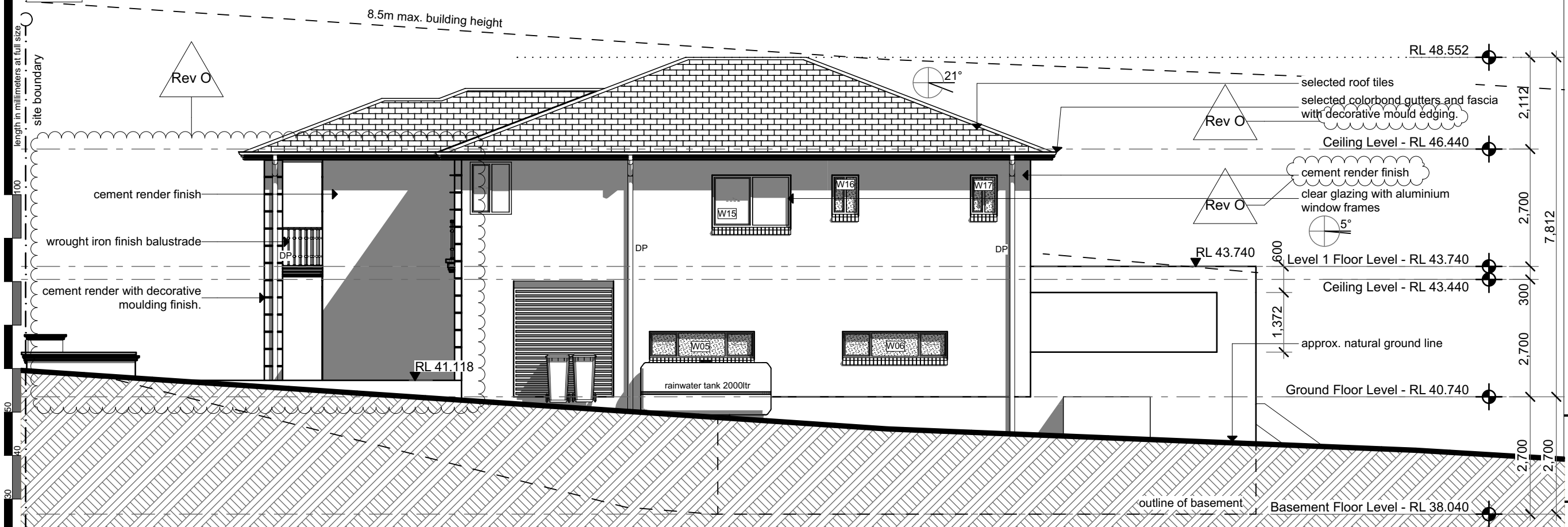
PLOTTED: 31/12/22

A14



SOUTH ELEVATION

1:100



NORTH ELEVATION

1:100

RevID	ID	Revision	Date
01 - WIP	DA/CC S4.55	Issued for DA/CC	20.01.21
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woodcott Street
Earwood NSW 2206
DRAWING:
ELEVATIONS
PROJECT NO2020-020
SCALE: 1:100 @A3
DRAWING NO. REV:
PLOTTED: 3/10/2022
A15 [O]

General Notes:
All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work
Any discrepancies are to be brought to the attention of the designer.
Levels shown are approximate unless accompanied by reduced levels.
Figured dimensions must be taken in preference to scaling.
All boundary clearances must be verified by the surveyor prior to the commencement of any building works.
Where engineering drawings are required such must take preference to this drawing.
Stormwater to be discharged to Council's requirements and Australian Standards.
All services to be located and verified by the Builder with relevant authorities before any building work commences.



General Notes:	Rev	ID	Revision	Date
All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work.	D	C/C	Amended for client	08.05.21
Any discrepancies are to be brought to the attention of the designer.	D	C/C	Amended pool	08.05.21
Levels shown are approximate unless accompanied by reduced levels.	D	C/C	Amended to scaling	08.05.21
Figured dimensions must be taken from the centre of the wall.	D	C/C	Amended for council	10.11.21
All boundary conditions must be verified by the surveyor prior to any commencement of any construction.	K	D/C	Amended for council	10.11.21
Where engineering drawings are required such must take reference to drawings.	M	D/C	Amended for council	07.12.21
Stormwater to be discharged to Council's requirements and Australian Standards.	N	D/C	Amended driveway	17.12.21
All services to be located and verified by the Builder with relevant	O	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT:
Proposed Residential Dwelling

CLIENT:
Mr & Mrs Naguib

113 Woolcott Street
Earlwood NSW 2206

DRAWING:
**ELEVATIONS/DRIVEWAY
SECTION**

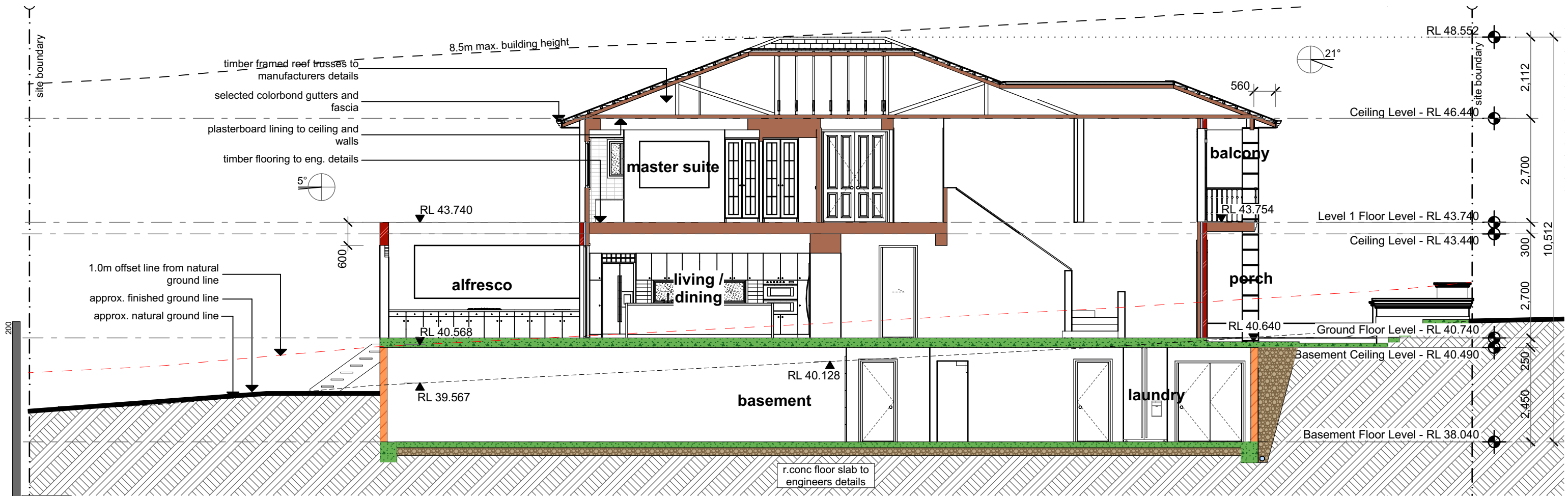
PROJECT NO2020-020

SCALE: 1:100 @A3

DRAWING NO: REV:

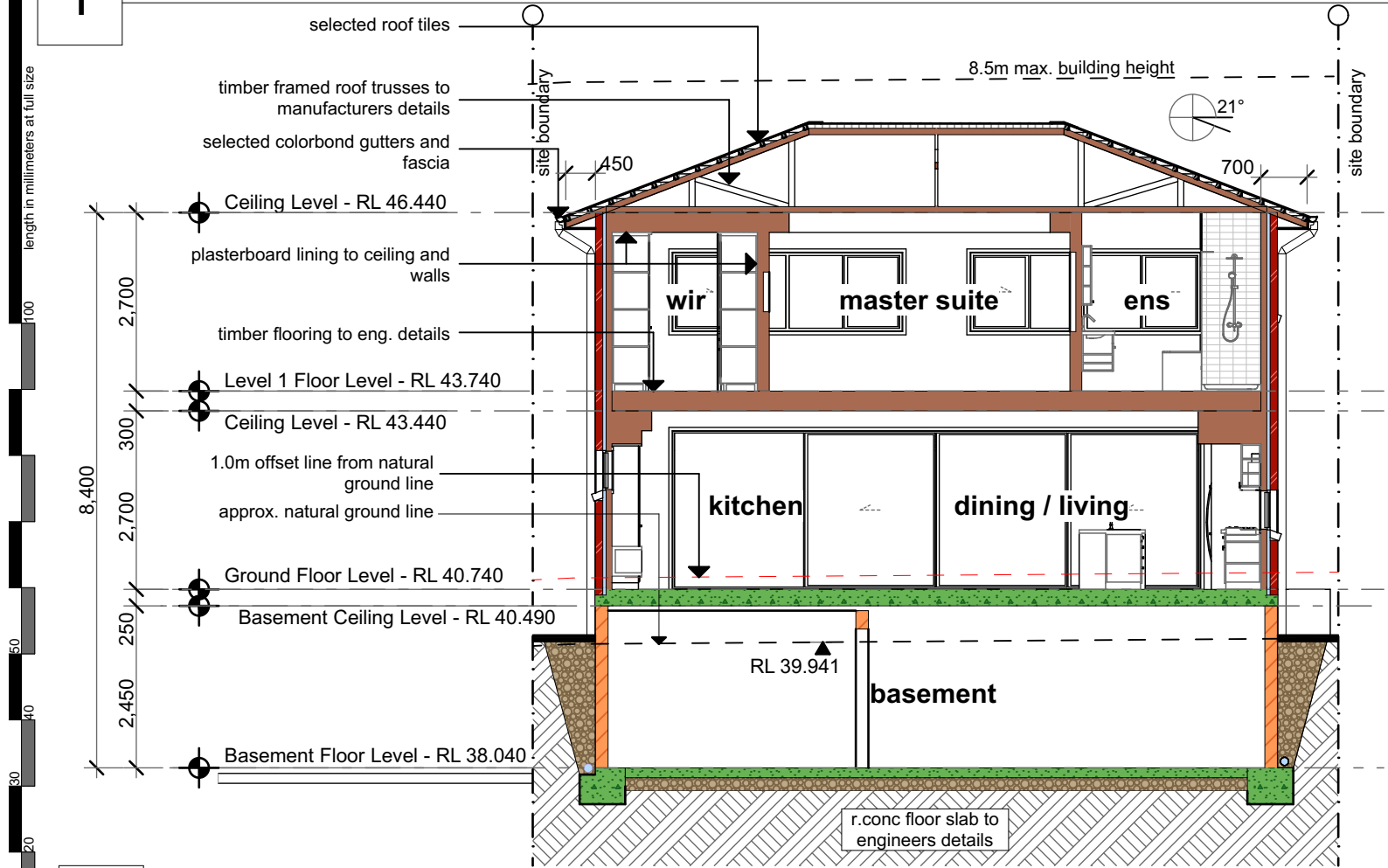
PLOTTED: 3/1/2022 **[O]**
A1C

A16



SECTION A - A

1:100



SECTION B - B

1:100

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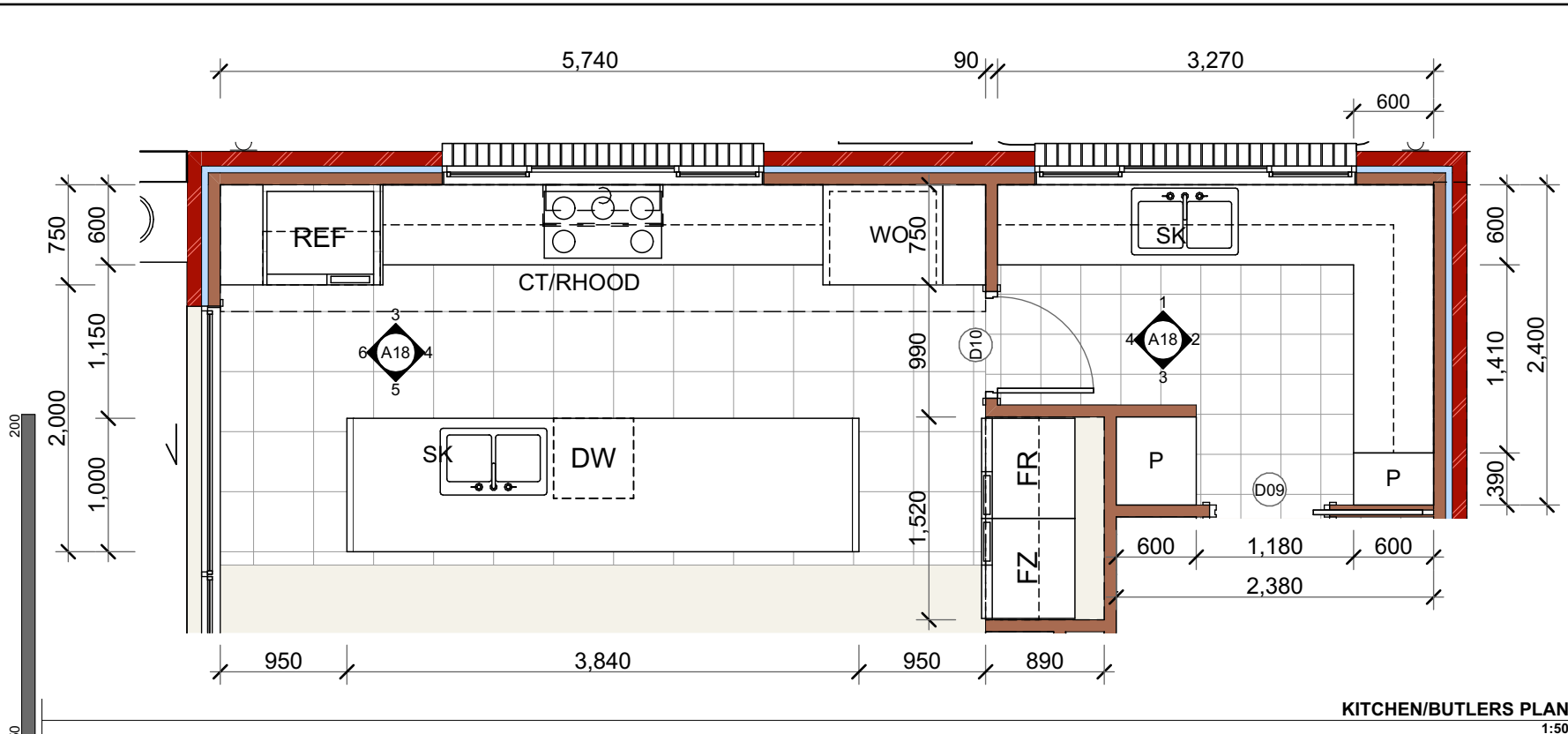


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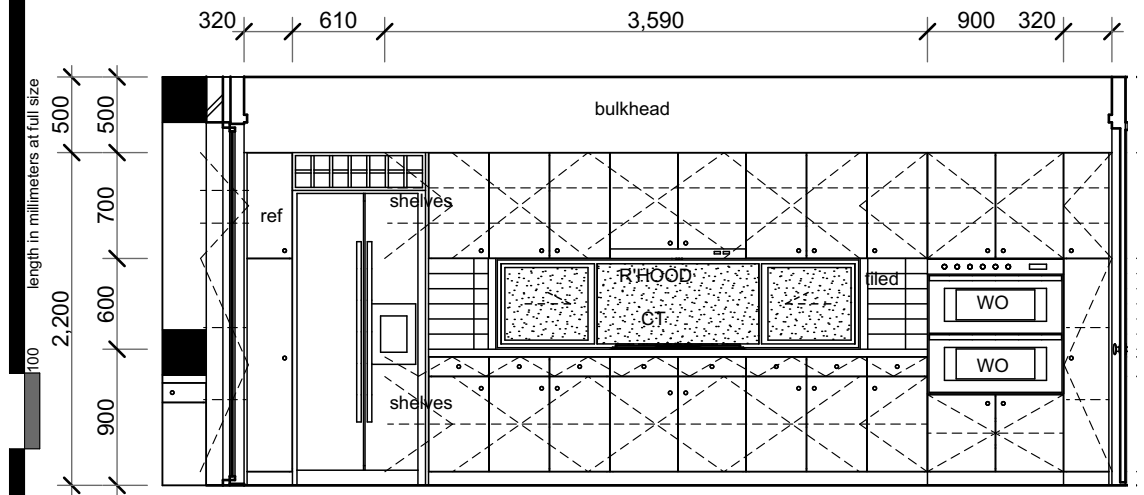
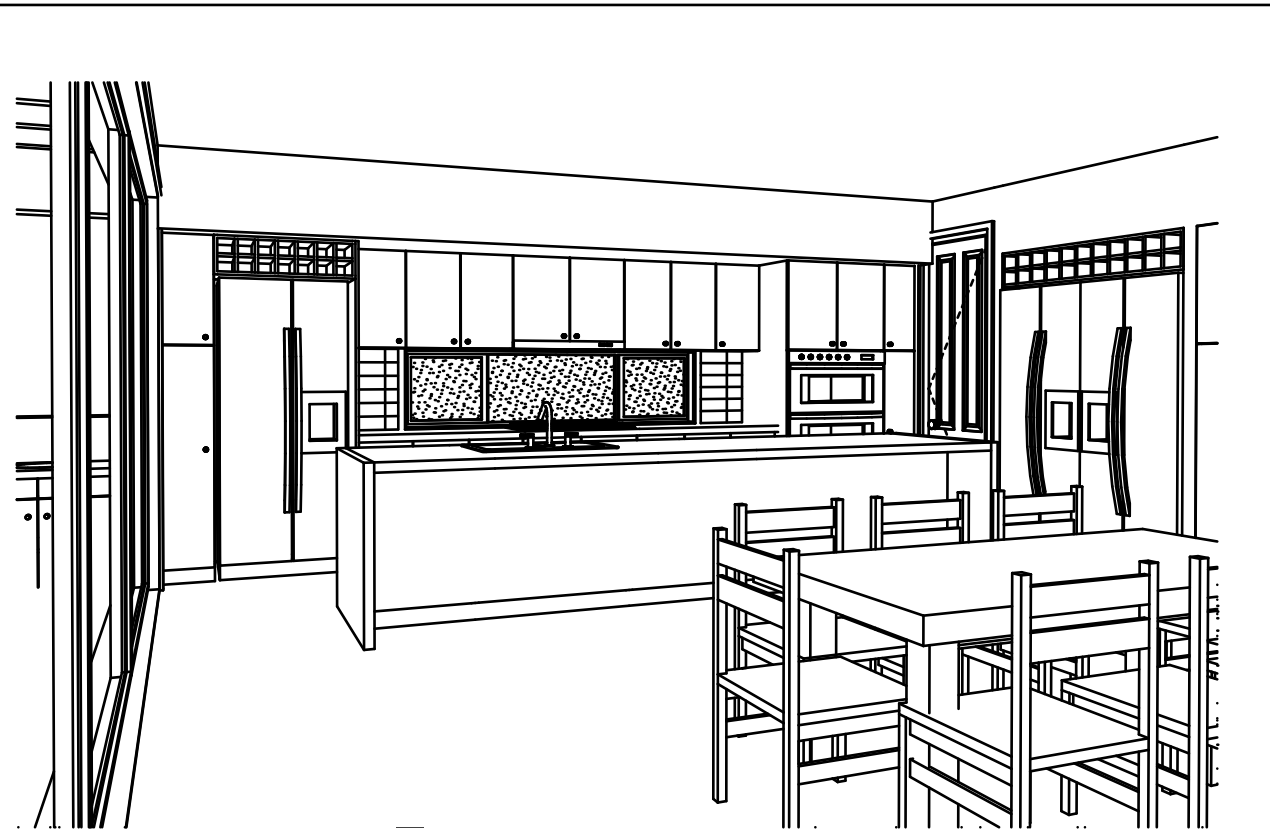
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PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:100 @A3
113 Woodcott Street Earlwood NSW 2206	DRAWING NO. REV: PLOTTED: 3/10/2022
DRAWING: BUILDING SECTIONS	A17 [O]

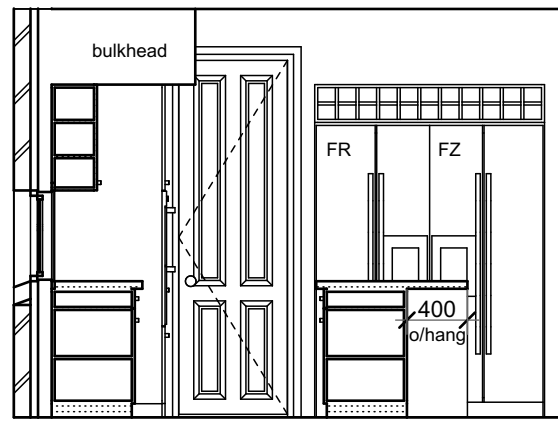
General Notes:
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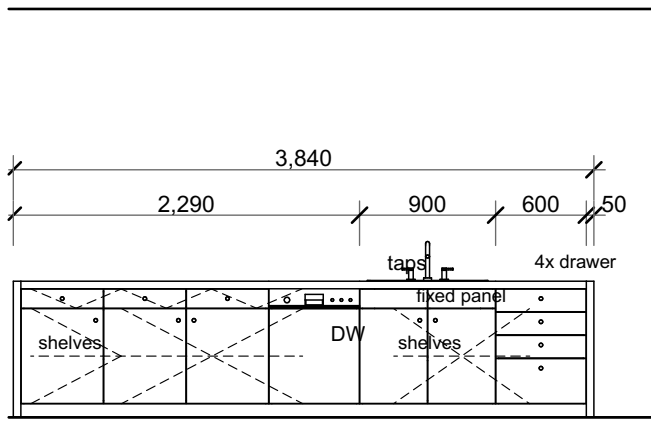
KITCHEN/BUTLERS PLAN
1:50



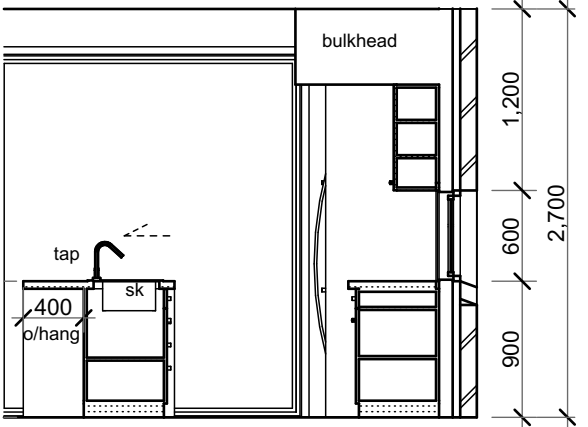
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1:50



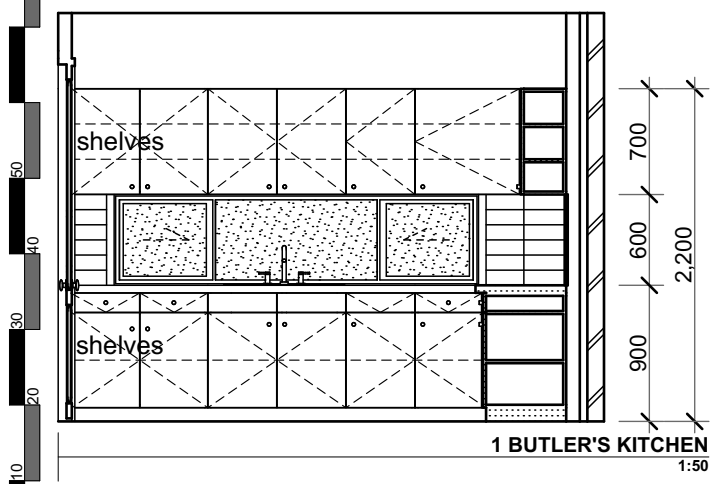
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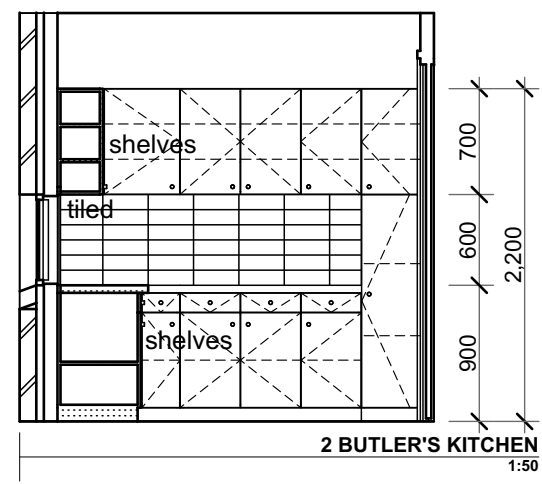
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1:50



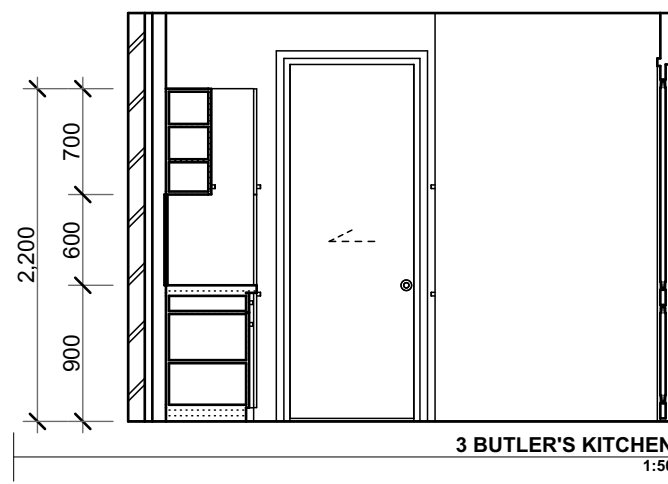
4 KITCHEN
1:50



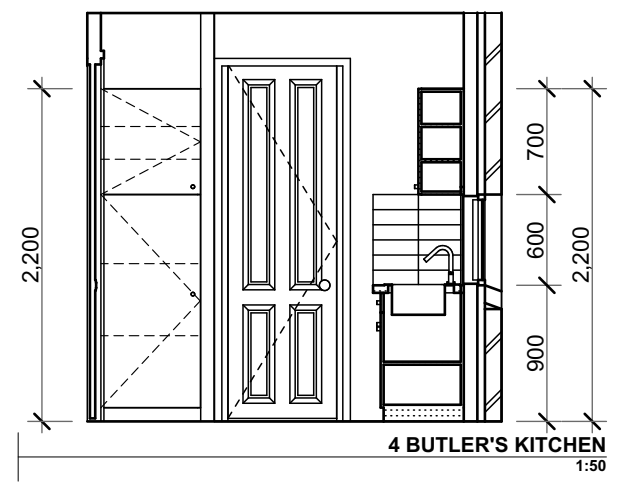
1 BUTLER'S KITCHEN
1:50



2 BUTLER'S KITCHEN
1:50



3 BUTLER'S KITCHEN
1:50

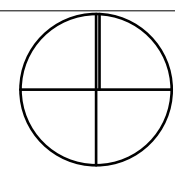


4 BUTLER'S KITCHEN
1:50

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H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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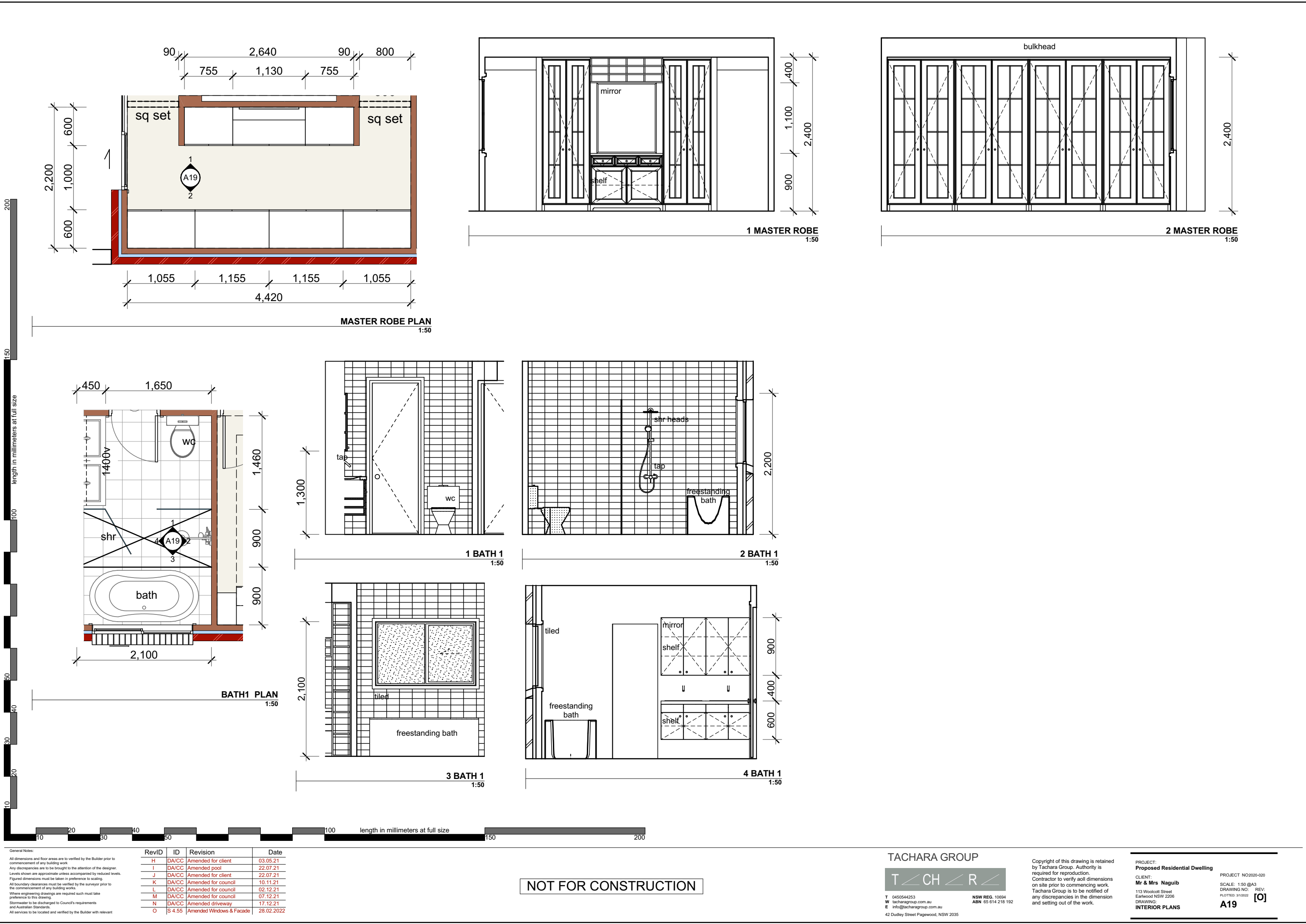
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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
KITCHEN/BUTLER'S INTERIOR
PLAN

PROJECT NO:2020-020
SCALE: 1:50, 1:100, 1:263.16 @A:
DRAWING NO: REV:
PLOT:1180_31/12/22
A18



General Notes:
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H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
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M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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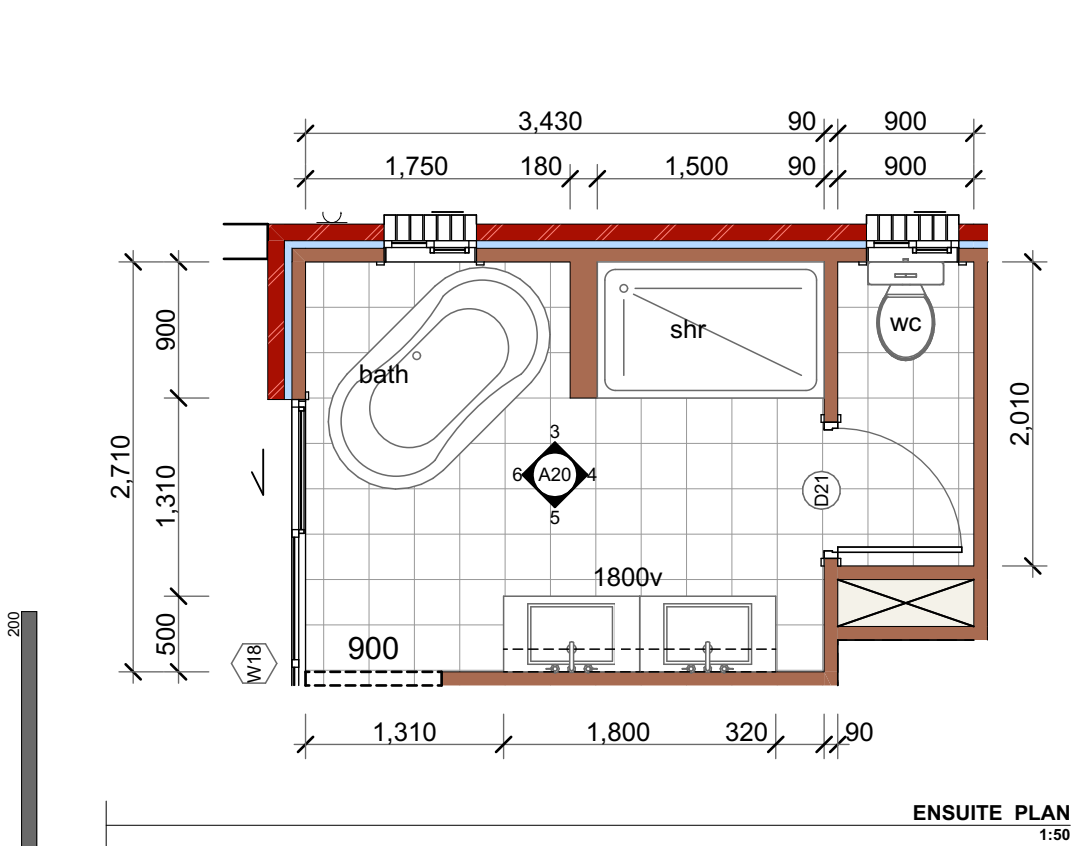
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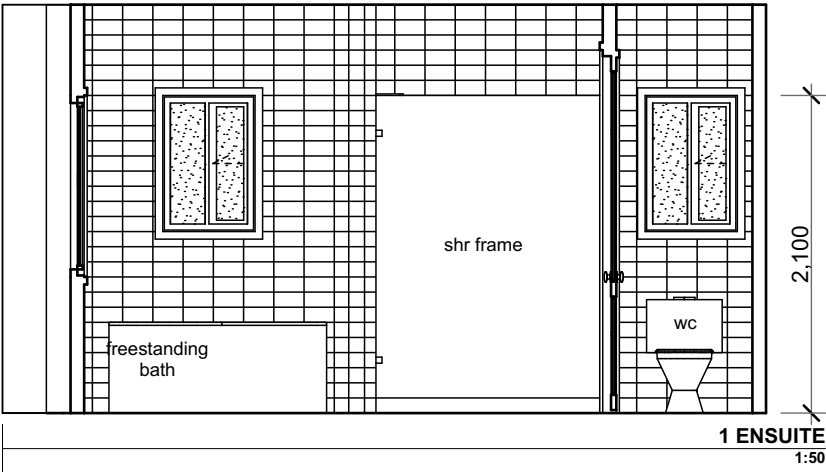
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING: INTERIOR PLANS

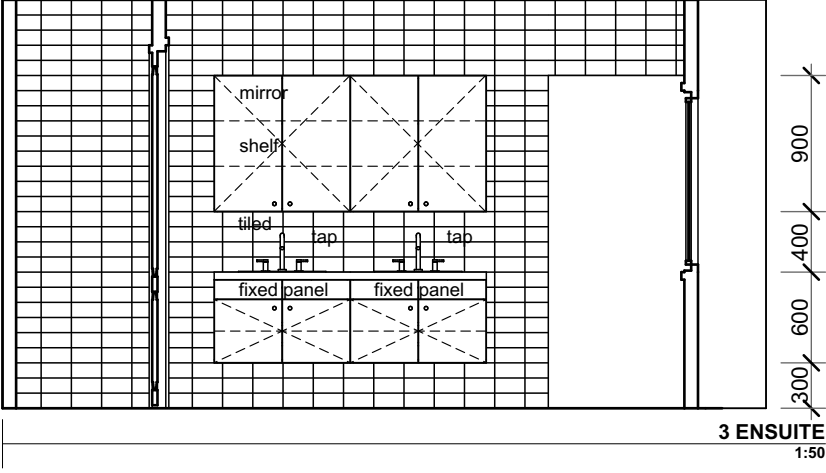
PROJECT NO 2020-020
SCALE: 1:50 @A3
DRAWING NO: REV: [O]
A19



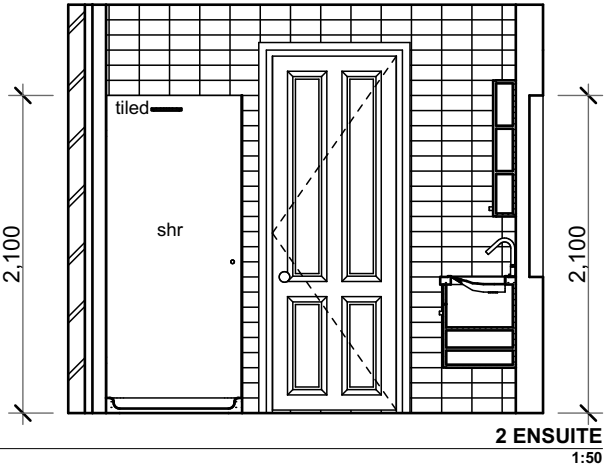
ENSUITE PLAN
1:50



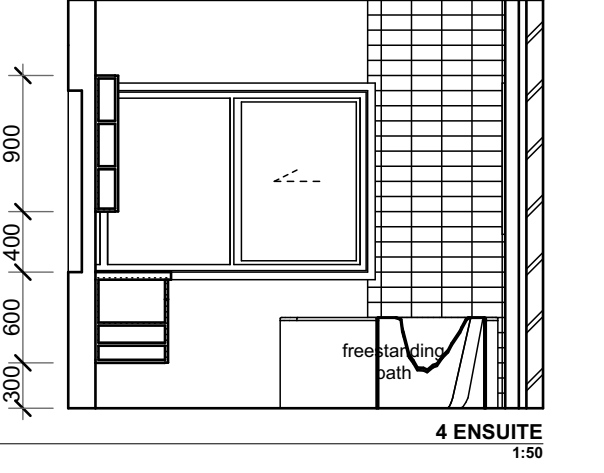
1 ENSUITE
1:50



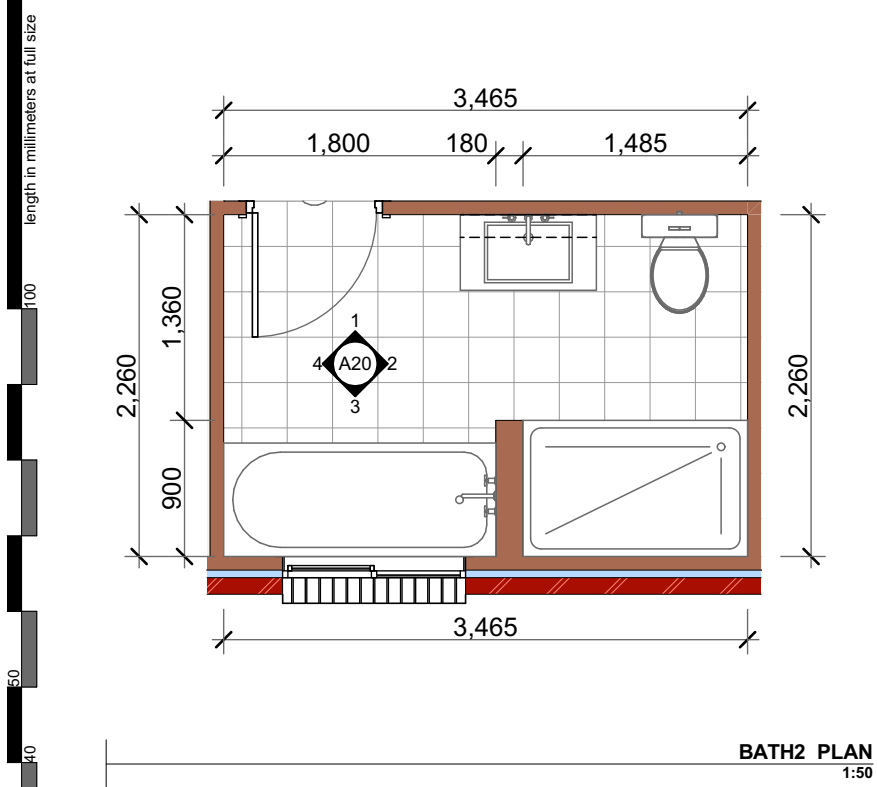
3 ENSUITE
1:50



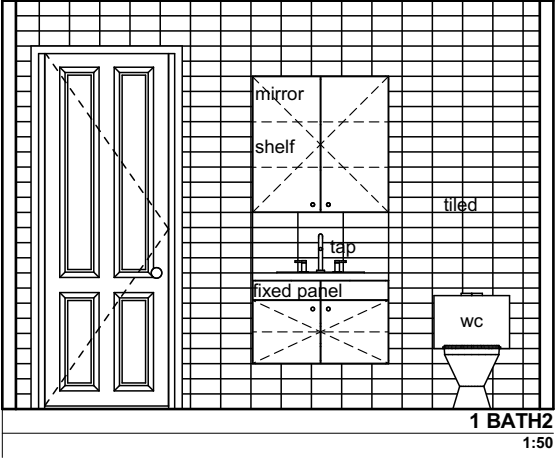
2 ENSUITE
1:50



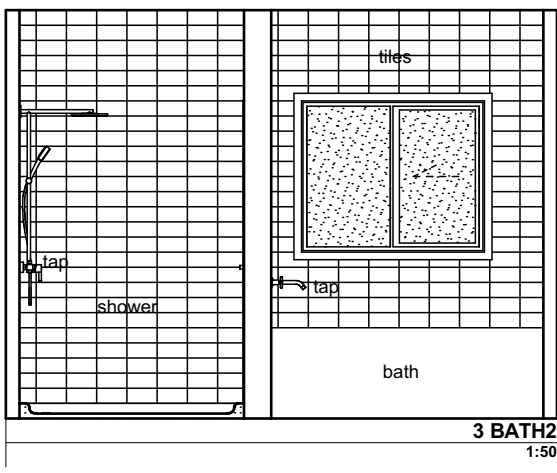
4 ENSUITE
1:50



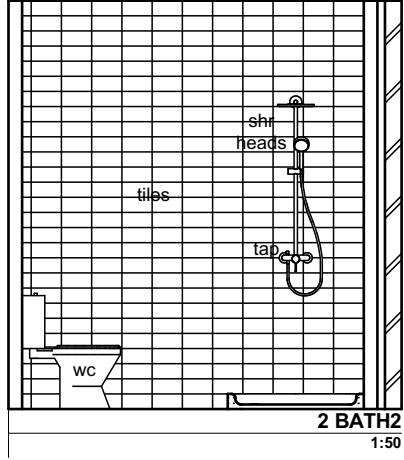
BATH2 PLAN
1:50



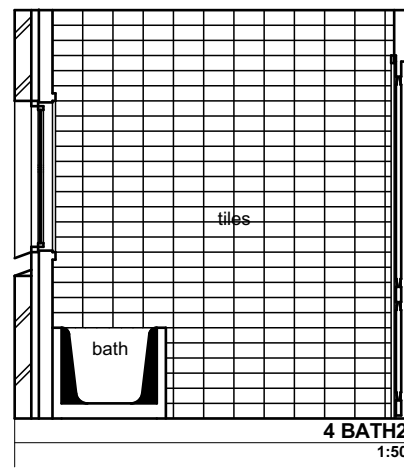
1 BATH2
1:50



3 BATH2
1:50



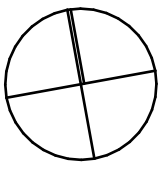
2 BATH2
1:50



4 BATH2
1:50

RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

NOT FOR
CONSTRUCTION



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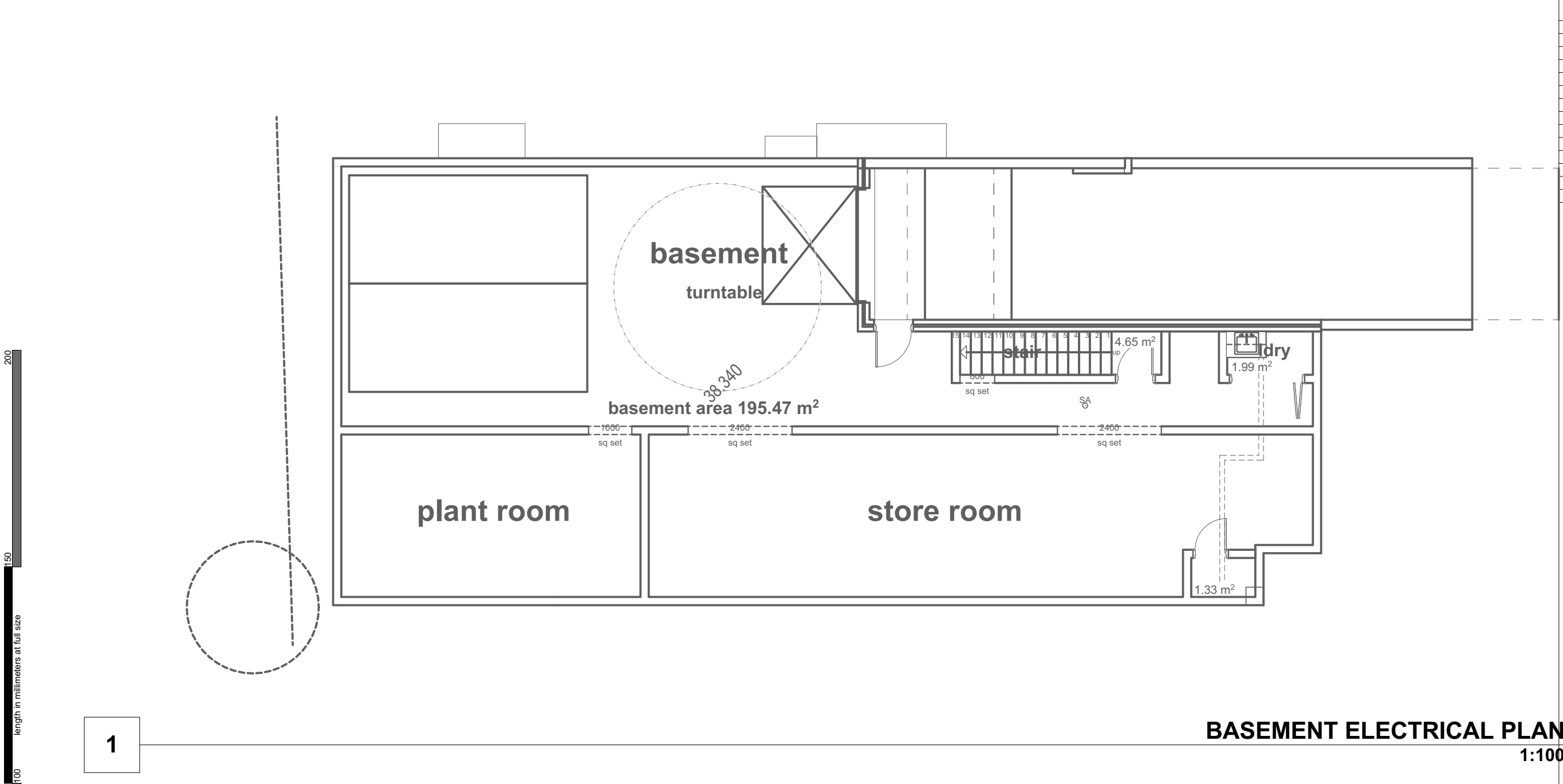
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42 Dudley Street Pagewood, NSW 2035

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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woodcott Street
Earlwood NSW 2206
DRAWING: INTERIOR PLANS
PROJECT NO2020-020
SCALE: 1:50, 1:100 @A3
DRAWING NO: REV:
PLOTTED: 3/10/2022
A20 [O]

General Notes:
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Stormwater to be discharged to Council's requirements and Australian Standards.
All services to be located and verified by the Builder with relevant authorities before any building work commences.



BASEMENT ELECTRICAL PLAN
1:100

RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
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M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

NOT FOR
CONSTRUCTION

ELECTRICAL SCHEDULE								
CEILING LIGHT	0	2W	TWO WAY LIGHT SWITCH	0	NBN CONNECTION POINT	0	CEILING LIGHT FAN	0
COMPACT FLUORESCENT LIGHT	0	3W	THREE WAY LIGHT SWITCH	0	AUDIO SPEAKER	0	CEILING FAN	0
WALL LIGHT (Junction Box) (WL: WALL LIGHT, SL: STEP LIGHT, & JB: JUNCTION BOX)	0	WPD	WATER PROOF DPP	0	GAS BAYONET POINT (GAS - INTERNAL) (BBQ - EXTERNAL)	0	DATA POINT	0
DOWNLIGHTS (10W LED COOL LIGHT)	0	WPS	WATER PROOF SPP	0	WIRED SMOKE DETECTOR (FINAL POSITION TO BE DETERMINED ON SITE)	0	3 PHASE POWER TO MB.	NO
DOUBLE FLUORESCENT	0		DOUBLE POWER POINT	0	CEILING EXHAUST FAN	0	UPGRADE EXISTING HOUSE MB.	NO
SINGLE FLUORESCENT	0	 (INCL. RANGE HOOD, DISHWASHER, REFRIGERATOR x 2, DATANETWORK & GARAGE DOOR)	SINGLE POWER POINT	0	IXL CEILING EXHAUST FAN (IXL2 - 2 HEATER LIGHT) (IXL4 - 4 HEATER LIGHT)	0		
CIRCULAR FLUORESCENT	0			0				
FLOOD LIGHT	0		TELEPHONE POINT (WS - WALL SOCKET) (FS - FLOOR SOCKET)	0			WIRING	
			TELEVISION POINT (TV - FREE TO AIR) (PT - PAY TV)	0				

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NSW REG. 10694
ABN 65 614 216 192

42 Dudley Street Pagewood, NSW 2035

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PROJECT:
Proposed Residential Dwelling

CLIENT:
Mr & Mrs Naguib

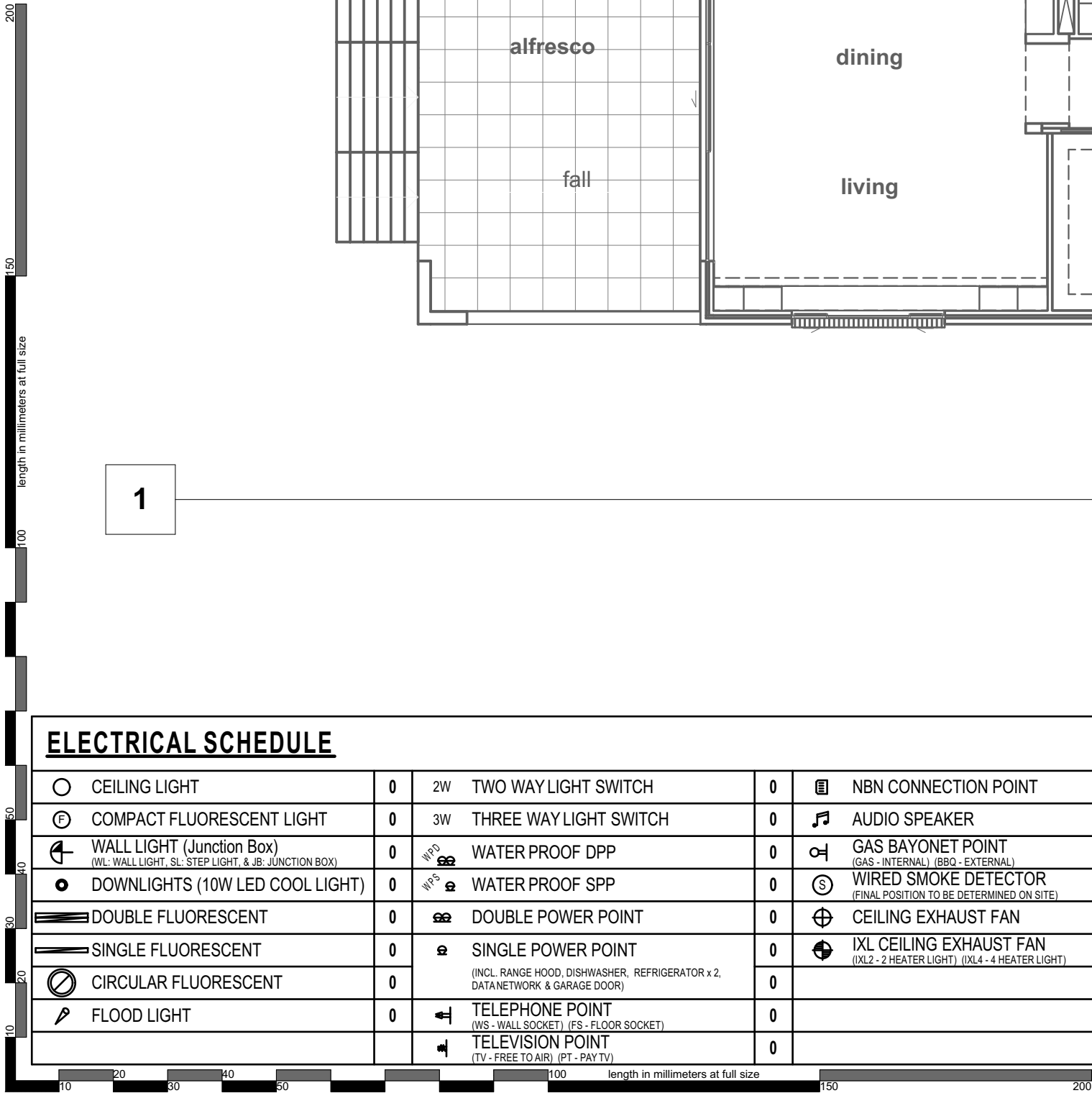
PROJECT NO2020-020

SCALE: 1:100, 1:50 @A3
DRAWING NO: REV.
PLOTTED: 3/10/2022

DRAWING:
**BASEMENT FLOOR
ELECTRICAL PLAN**

A21 [O]

General Notes:
All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work.
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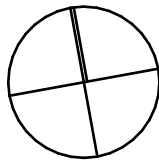
GROUND FLOOR ELECTRICAL PLAN
1:100

ELECTRICAL SCHEDULE

	CEILING LIGHT	0	2W	TWO WAY LIGHT SWITCH	0		NBN CONNECTION POINT	0		CEILING LIGHT FAN	0
	COMPACT FLUORESCENT LIGHT	0	3W	THREE WAY LIGHT SWITCH	0		AUDIO SPEAKER	0		CEILING FAN	0
	WALL LIGHT (Junction Box) (WL - WALL LIGHT, SL - STEP LIGHT, & JB - JUNCTION BOX)	0	WPD	WATER PROOF DPP	0		GAS BAYONET POINT (GAS - INTERNAL) (BBQ - EXTERNAL)	0		DATAPOINT	0
	DOWLIGHTS (10W LED COOL LIGHT)	0	WPS	WATER PROOF SPP	0		WIRED SMOKE DETECTOR (FINAL POSITION TO BE DETERMINED ON SITE)	0		3 PHASE POWER TO MB.	NO
	DOUBLE FLUORESCENT	0		DOUBLE POWER POINT	0		CEILING EXHAUST FAN	0		UPGRADE EXISTING HOUSE MB.	NO
	SINGLE FLUORESCENT	0		SINGLE POWER POINT	0		IXL CEILING EXHAUST FAN (IXL2 - 2 HEATER LIGHT) (IXL4 - 4 HEATER LIGHT)	0			
	CIRCULAR FLUORESCENT	0		(INCL. RANGE HOOD, DISHWASHER, REFRIGERATOR x 2, DATANETWORK & GARAGE DOOR)	0						
	FLOOD LIGHT	0		TELEPHONE POINT (WS - WALL SOCKET) (FS - FLOOR SOCKET)	0					WIRING	
				TELEVISION POINT (TV - FREE TO AIR) (PT - PAY TV)	0						

RevID	ID	Revision	Date
01 - WIP	DA/CC S4.55	Issued for DA/CC	20.01.21
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

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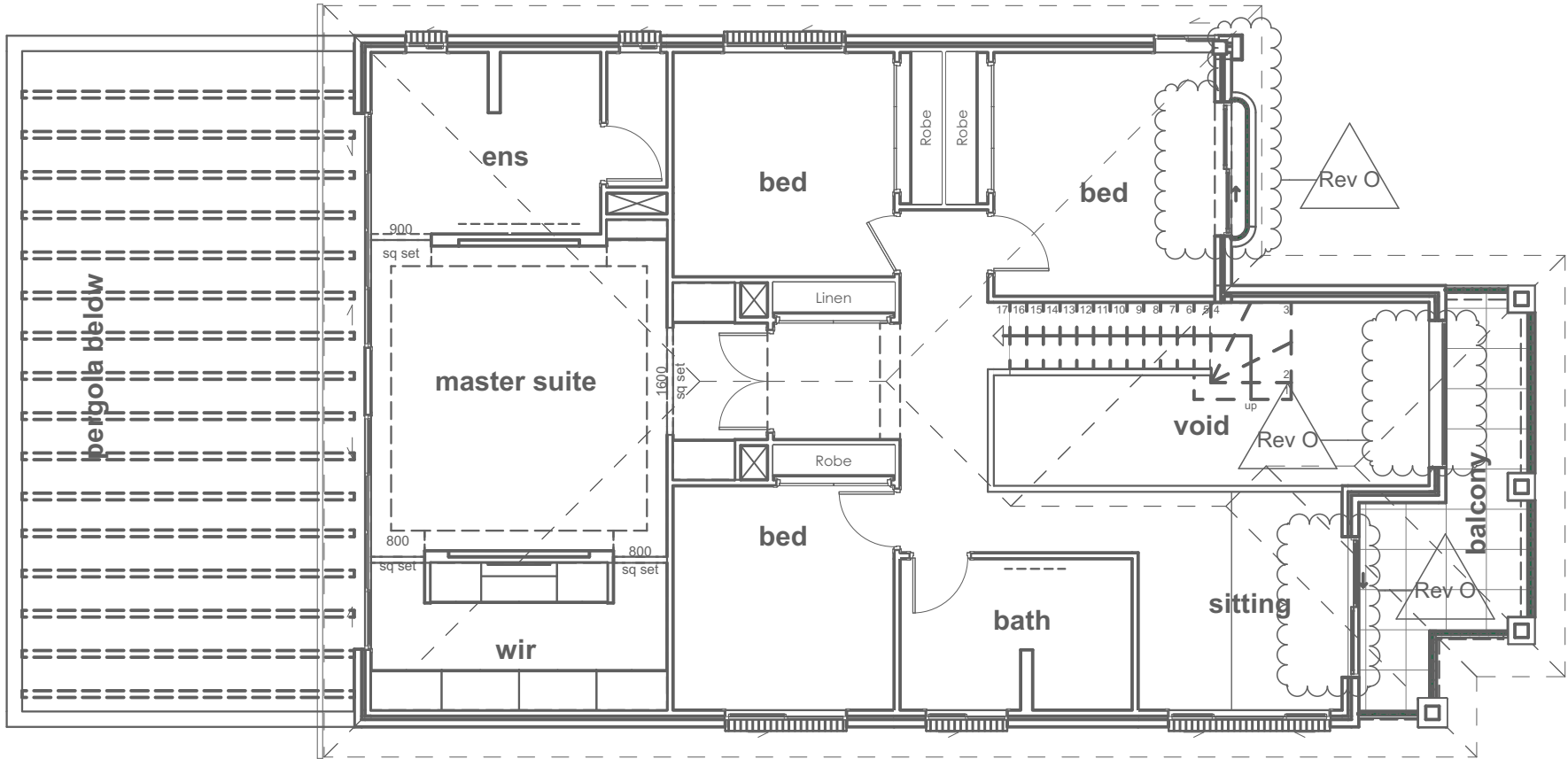
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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woodcott Street
Earlwood NSW 2206
DRAWING:
GROUND FLOOR ELECTRICAL
PLAN
PROJECT NO2020-020
SCALE: 1:100, 1:50 @A3
DRAWING NO. REV.
PLOTTED: 31/02/22
A22 [O]

General Notes:
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200
150
100
50
40
30
20
10
length in millimeters at full size

2



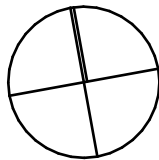
LEVEL 1 FLOOR ELECTRICAL PLAN
1:100

ELECTRICAL SCHEDULE

	CEILING LIGHT	0	2W	TWO WAY LIGHT SWITCH	0		NBN CONNECTION POINT	0		CEILING LIGHT FAN	0
	COMPACT FLUORESCENT LIGHT	0	3W	THREE WAY LIGHT SWITCH	0		AUDIO SPEAKER	0		CEILING FAN	0
	WALL LIGHT (Junction Box) (WL: WALL LIGHT, SL: STEP LIGHT, & JB: JUNCTION BOX)	0	WPD	WATER PROOF DPP	0		GAS BAYONET POINT (GAS - INTERNAL) (BBQ - EXTERNAL)	0		DATAPOINT	0
	DOWLIGHTS (10W LED COOL LIGHT)	0	WPS	WATER PROOF SPP	0		WIRED SMOKE DETECTOR (FINAL POSITION TO BE DETERMINED ON SITE)	0		3 PHASE POWER TO MB.	NO
	DOUBLE FLUORESCENT	0		DOUBLE POWER POINT	0		CEILING EXHAUST FAN	0		UPGRADE EXISTING HOUSE MB.	NO
	SINGLE FLUORESCENT	0		SINGLE POWER POINT	0		IXL CEILING EXHAUST FAN (IXL2 - 2 HEATER LIGHT) (IXL4 - 4 HEATER LIGHT)	0			
	CIRCULAR FLUORESCENT	0		(INCL. RANGE HOOD, DISHWASHER, REFRIGERATOR x 2, DATANETWORK & GARAGE DOOR)	0						
	FLOOD LIGHT	0		TELEPHONE POINT (WS - WALL SOCKET) (FS - FLOOR SOCKET)	0					WIRING	
				TELEVISION POINT (TV - FREE TO AIR) (PT - PAY TV)	0						

RevID	ID	Revision	Date
01 - WIP	DA/CC S4.55	Issued for DA/CC	2020.01.21
D	DA/CC	Issued for DA/CC	21.01.21
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G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

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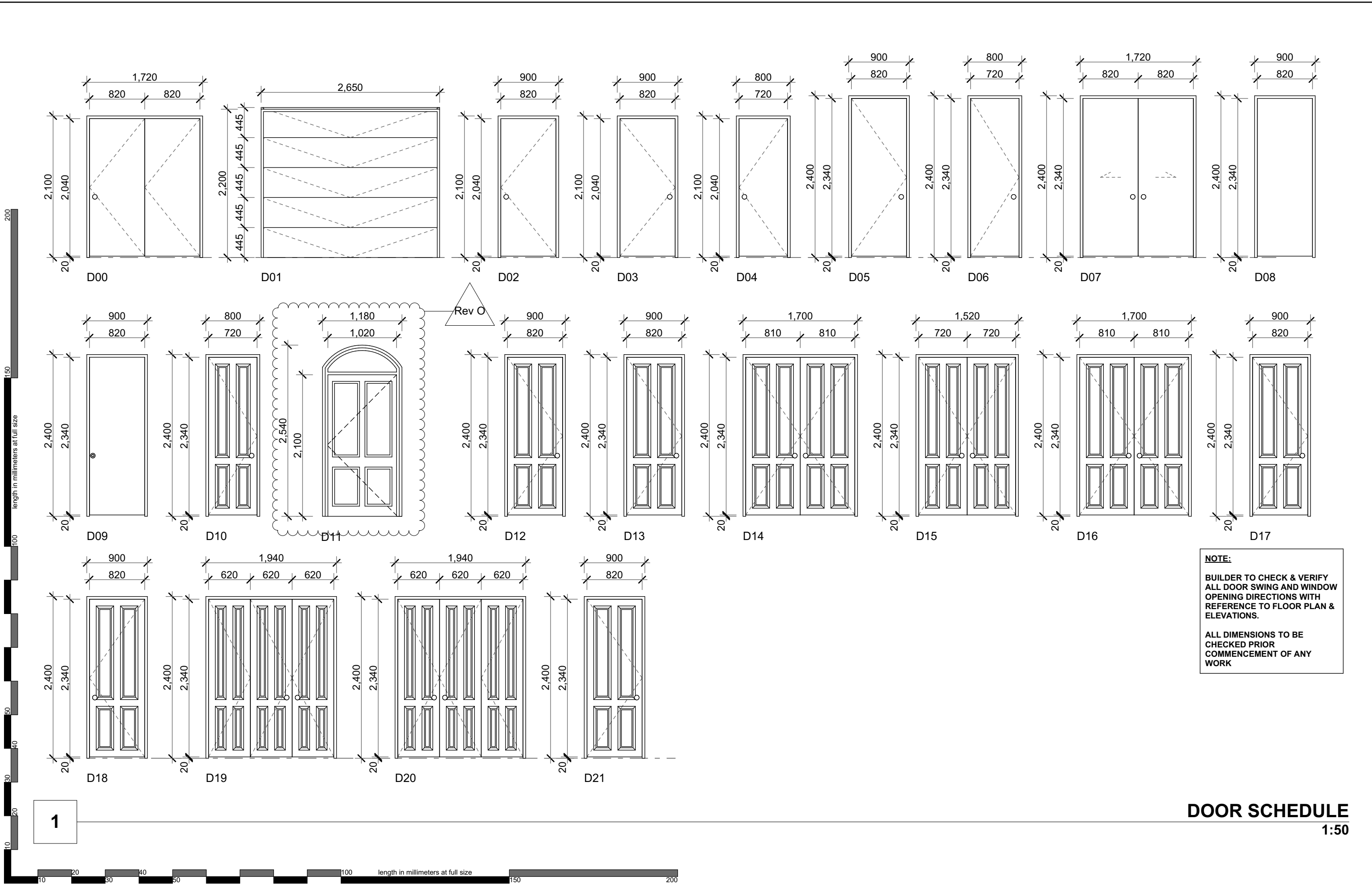
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42 Dudley Street Pagewood, NSW 2035

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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woodcott Street
Earlwood NSW 2206
DRAWING:
LEVEL 1 FLOOR ELECTRICAL
PLAN
PROJECT NO2020-020
SCALE: 1:50, 1:100 @A3
DRAWING NO: REV.
PLOTTED: 31/10/22
[O]
A23

General Notes:
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All services to be located and verified by the Builder with relevant authorities before any building work commences.



DOOR SCHEDULE

1:50

RevID	ID	Revision	Date
01 - WJP	DA/CC	Amended for client	04.05.21
	DA/CC	Amended for client	22.09.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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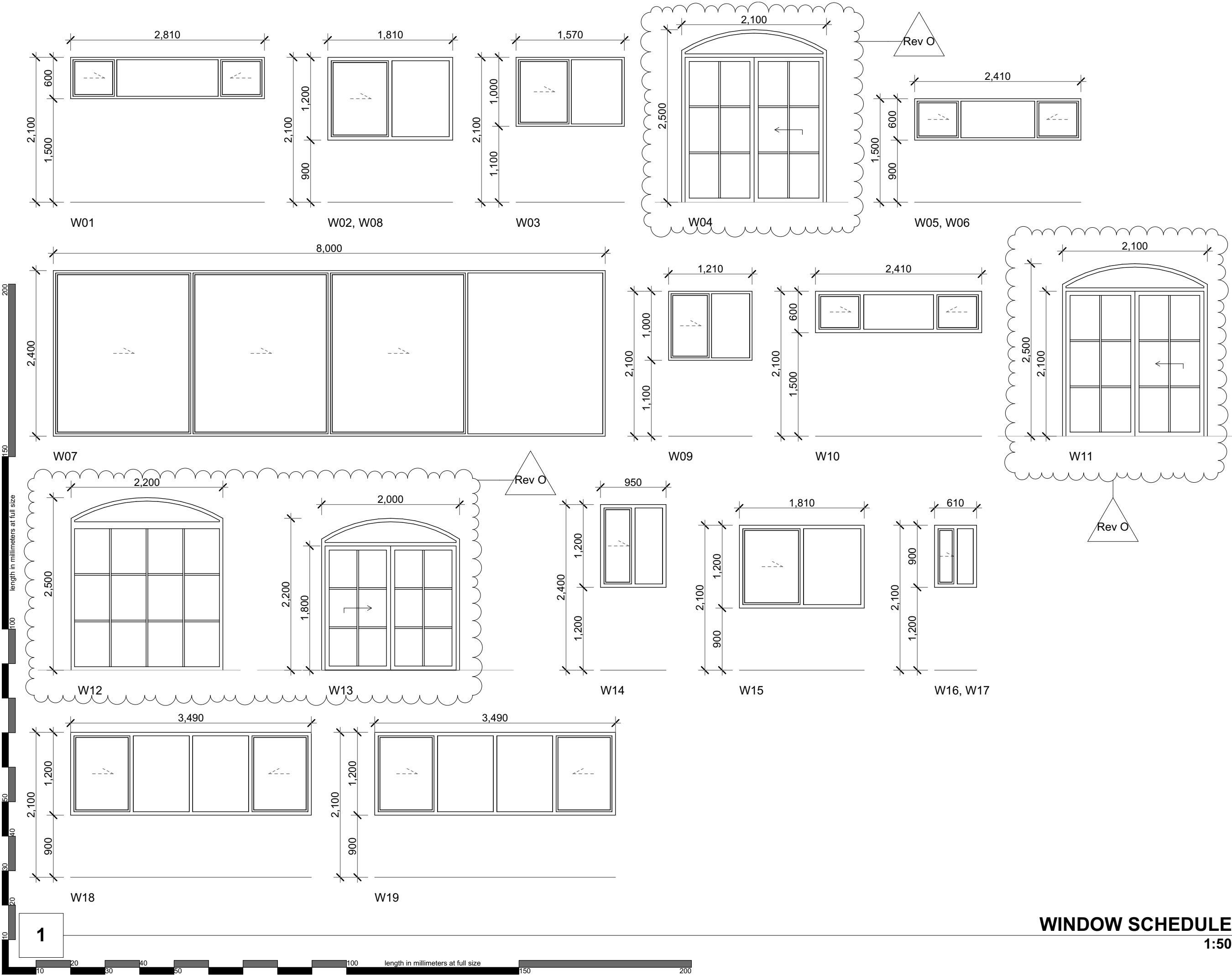
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING: DOOR SCHEDULES

PROJECT NO:2020-020
SCALE: 1:50 @A3
DRAWING NO: REV: [O]
A24



RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

NOTE:

BUILDER TO CHECK & VERIFY ALL DOOR SWING AND WINDOW OPENING DIRECTIONS WITH REFERENCE TO FLOOR PLAN & ELEVATIONS.

ALL DIMENSIONS TO BE CHECKED PRIOR COMMENCEMENT OF ANY WORK

NOTE:

WHERE REQUIRED WINDOW OPENINGS TO BE FIXED TO COMPLY WITH BCA Clause 3.9.2.5 WHERE MINIMUM VENTILATION REQUIREMENTS FOR ATTAINED THE WINDOW OPENINGS TO BE SECURED WITH A SUITABLE PROTECTIVE SCREEN TO COMPLY WITH BCA Clause 3.9.2.5

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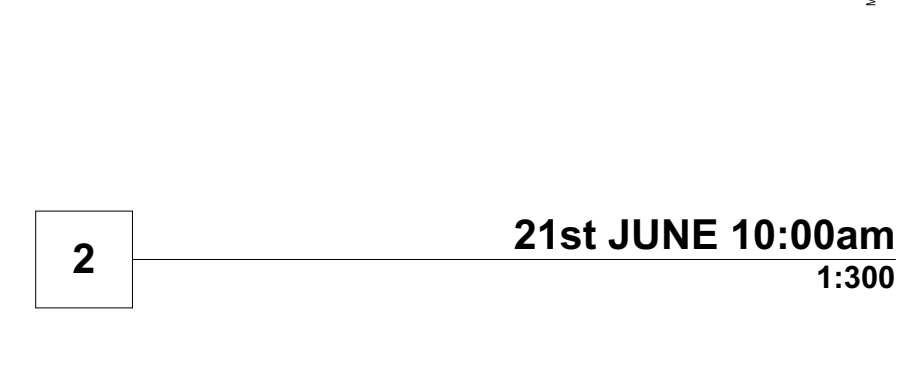
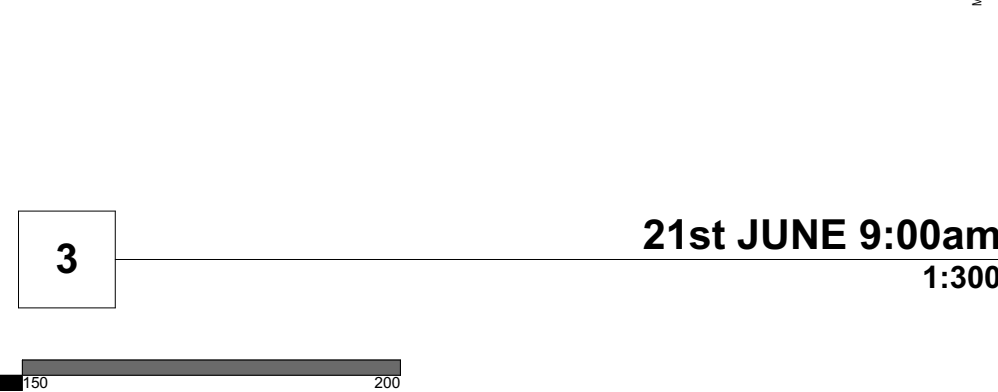
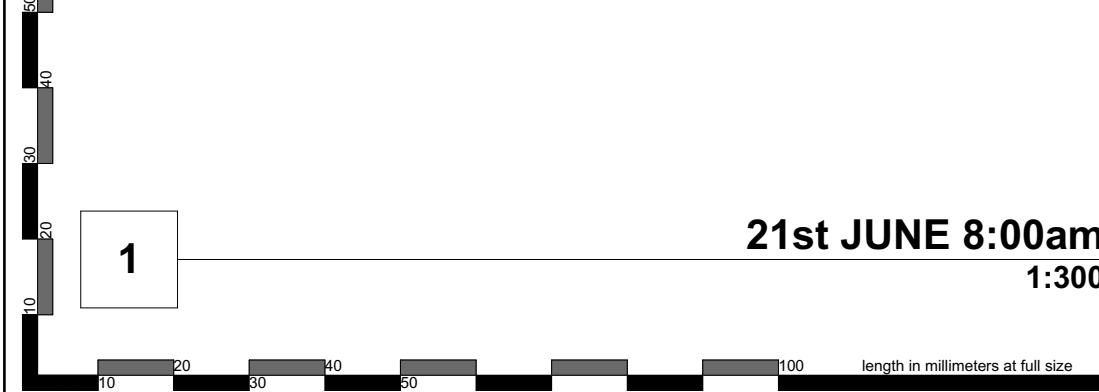
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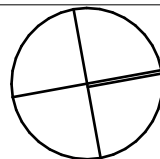
PROJECT: Proposed Residential Dwelling	PROJECT NO2020-020
CLIENT: Mr & Mrs Naguib	SCALE: 1:50 @A3
113 Woodcott Street Earlwood NSW 2206	DRAWING NO: REV: PLOTTED: 3/1/2022
DRAWING: WINDOW SCHEDULES	A25 [O]

General Notes:
All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work
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Stormwater to be discharged to Council's requirements and Australian Standards.
All services to be located and verified by the Builder with relevant authorities before any building work commences.

WINDOW SCHEDULE
1:50



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NSW REG. 10694
ABN 65 614 218 192

PROJECT:
Proposed Residential Dwelling

CLIENT:
Mr & Mrs Naguib

113 Woolcott Street
Earlwood NSW 2206

DRAWING:
SHADOW DIAGRAMS - JUNE
21st

PROJECT NO2020-020
SCALE: 1:300, 1:100 @A3
DRAWING NO: REV:
PLOTTED: 3/1/2022 [O]
A26

length in millimeters at full size

1

21st JUNE 11:00am
1:300

2

21st JUNE 12:00pm
1:300

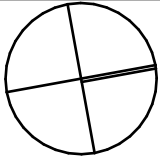
3

21st JUNE 1:00pm
1:300

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RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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ABN 65 614 218 192

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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING: SHADOW DIAGRAMS - JUNE 21st

PROJECT NO2020-020
SCALE: 1:100, 1:300 @A3
DRAWING NO: REV: [O]
A27

length in millimeters at full size

1

21st JUNE 2:00pm
1:300

length in millimeters at full size

2

21st JUNE 3:00pm
1:300

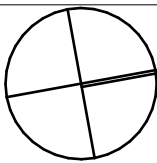
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21st JUNE 4:00pm
1:300

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RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
SHADOW DIAGRAMS - JUNE
21st

PROJECT NO:2020-020
SCALE: 1:100, 1:300 @A3
DRAWING NO: REV:
PL017102_3112922 [O]
A28



1 21st DECEMBER 9:00am 1:300



General Notes:
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RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

2 21st DECEMBER 12:00pm 1:300



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3 21st DECEMBER 3:00pm 1:300



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42 Dudley Street Pagewood, NSW 2035

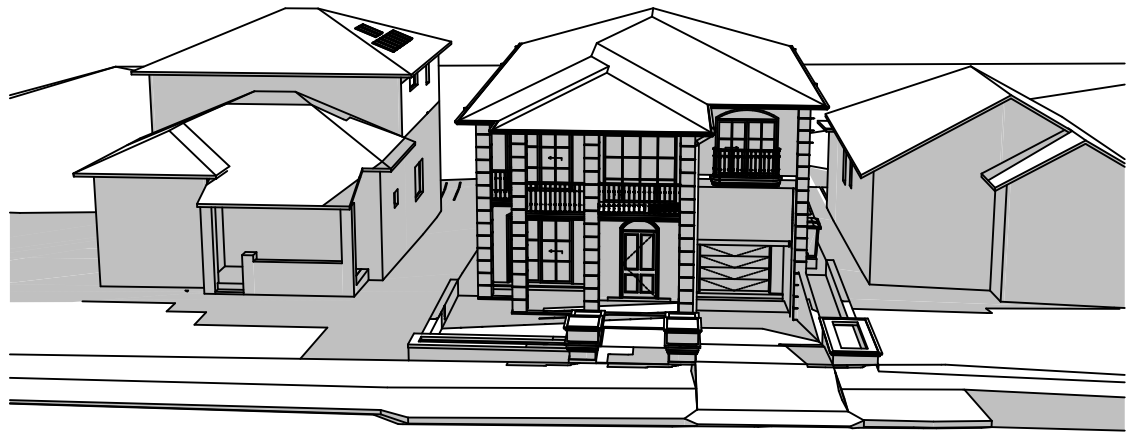
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street, Earlwood NSW 2206
DRAWING: SHADOW DIAGRAMS - DECEMBER 21st
PROJECT NO:2020-020
SCALE: 1:300, 1:100 @A3
DRAWING NO: REV: [O]
A29



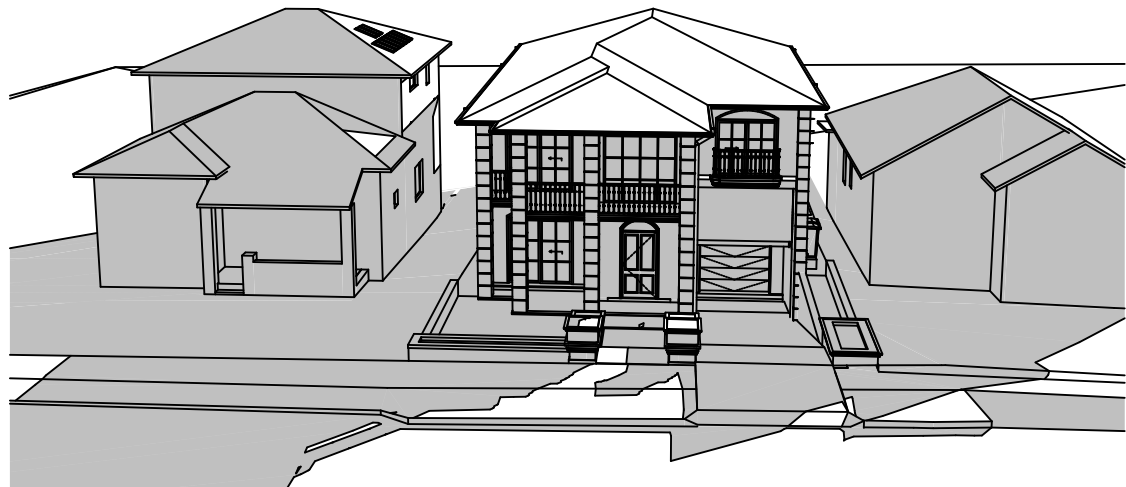
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3D - 21st JUNE 9:00am
1:200



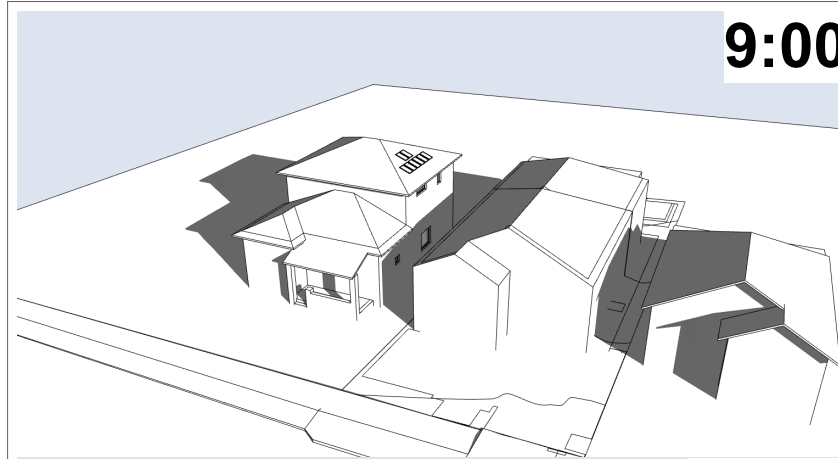
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3D - 21st JUNE 12:00pm
1:200

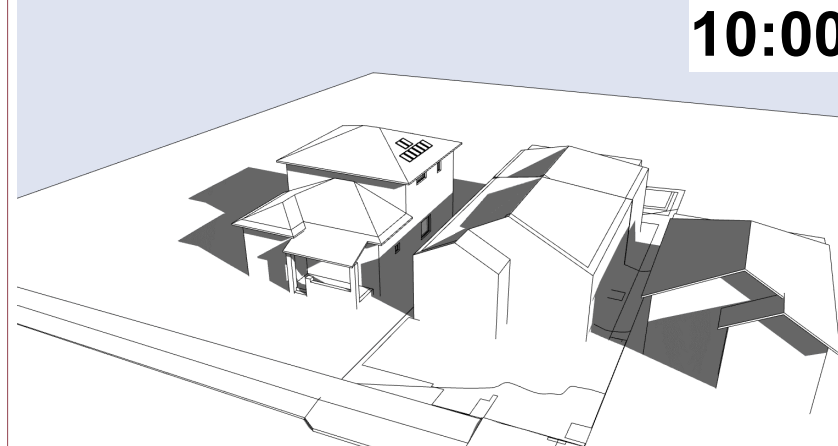


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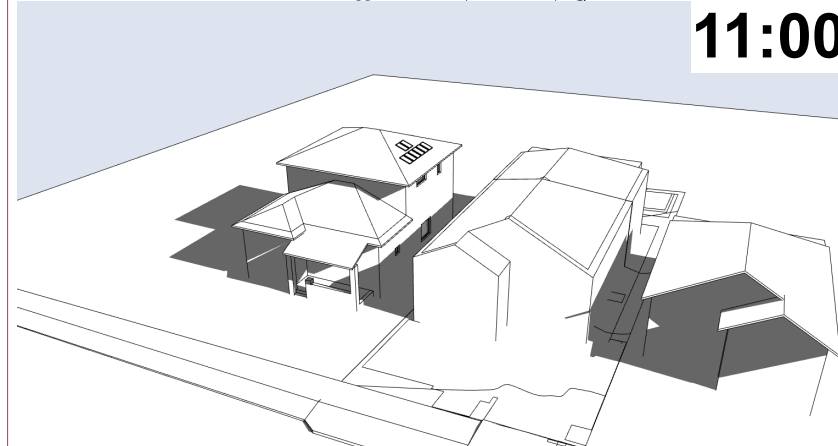
3D - 21st JUNE 3:00pm
1:200



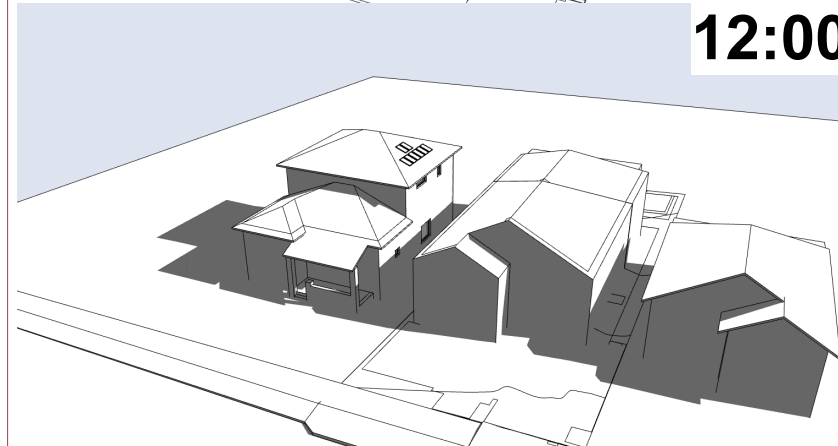
9:00



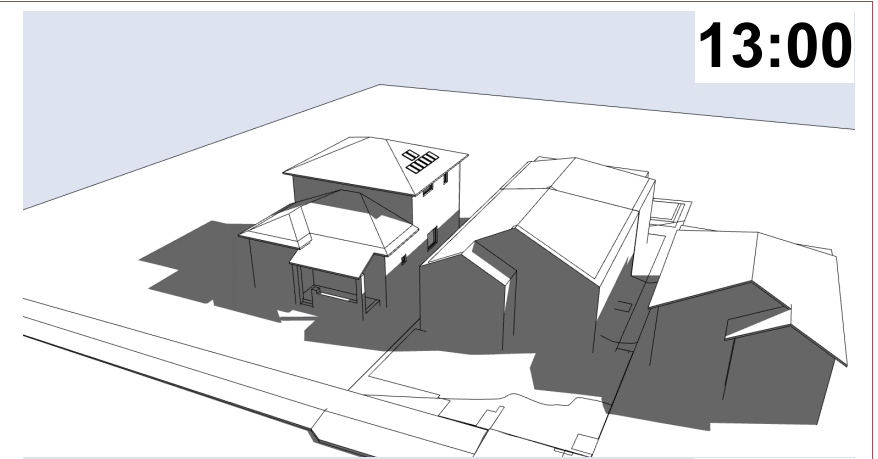
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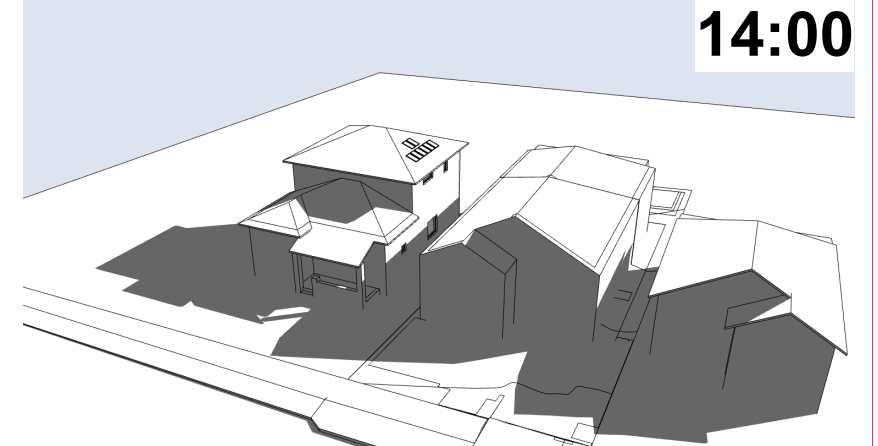
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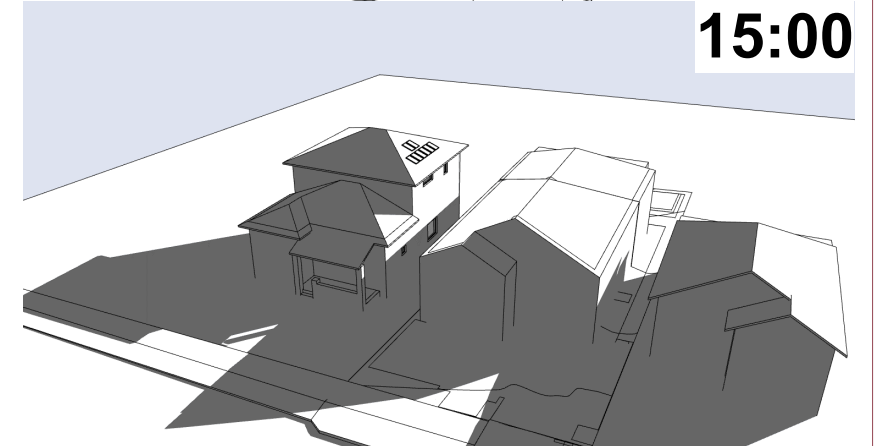
12:00



13:00



14:00



15:00

equivalent overshadowing
by possible single storey
addition

200

150

100

50

40

30

20

10

length in millimeters at full size

length in millimeters at full size

150

200

General Notes:

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L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

NOT FOR CONSTRUCTION

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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earwood NSW 2206
DRAWING: 3D SHADOW DIAGRAMS - JUNE 21st

PROJECT NO:2020-020
SCALE: 1:200 @A3
DRAWING NO: REV: [O]
PL017100-3/1/2022

LEGEND

Turf

Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc.. and away from buildings. Ensure that no pooling or ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No.17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Kikuyu" turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.

Timber garden edging

Colorbond fencing

Stepping Stone with gravel mulch

Existing trees to be retained

Existing trees to be removed

Planting areas

Ensure that the mass planting areas have been excavated to 300 below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No clay) Install 75mm depth of selected mulch.

Note:

Maintenance:

All landscape works are to be maintained for a period of twelve months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.

Irrigation:

All common areas on the landscape plan are to be covered by a fully automatic irrigation system. The system is to provide a full coverage with no overspray onto paved areas, structures or buildings. The controller is to be equal to a 'Richdell 446 PR' and is to be housed in a control box adjacent to the electricity meter. All sprinkler heads are to be pop-up. All pipework is to be PVC to satisfy AS 1477. All installation is to satisfy the Sydney Water Code and AS 3500. The system is to be installed by a suitable licenced contractor. All equipment and workmanship is to be guaranteed for a minimum period of 12 months.

200

150

100

50

40

30

20

10

length in millimeters at full size

10

20

30

40

50

100

150

200

length in millimeters at full size

The landscape plan shows a residential property layout. At the top left is a rectangular pool labeled 'pool'. To its right is a large paved area labeled 'alfresco' with two red arrows pointing towards it. Further right is a 'porch' area. Various plantings are indicated by codes: 14Mp (mallee poplar) along the top left boundary, 5Gr (Grevillea) along the top boundary, 6Gr (Grevillea) along the left boundary, 4Pt (Phormium) at the bottom left, 7Gr (Grevillea) along the top right boundary, 14Lt (Lomandra) in a central area, and 5Pt (Phormium) at the bottom right. A large tree labeled 'B' is shown on the right side. The plan also shows a 'paraline' area near the pool and a 'hws' (house wall) area. A scale bar at the bottom indicates dimensions from 10 to 200 millimeters at full size. A north arrow is located at the bottom center.

P L A N T S C H E D U L E					
	Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
Trees					
	B	Brachychiton populcus (Flame Tree - 8)	2	75 litre	yes
	E	Elaeocarpus reticulatus (Blue berry ash - 8m)	1	75 litre	yes
Shrubs					
	De	Doryanthus excelsa (Gynea lilly - 1m)	3	5 litre	—
	Mp	Doryanthus excelsa (Gynea lilly - 1m)	14	5 litre	—
	Gr	Grevillea robyn gordon (Grevillea - 2m)	18	5 litre	—
	Pt	Phormium tenax (NZ flax - 1m)	16	5 litre	—
Groundcovers					
	Lt	Lomandra longifolia 'Tanika' (fine leaf dwarf lomandra - 0.6m)	14	150mm pot	

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RevID	ID	Revision	Date
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT: Proposed Residential Dwelling

CLIENT: Mr & Mrs Naguib

113 Woolcott Street
Earlwood NSW 2206

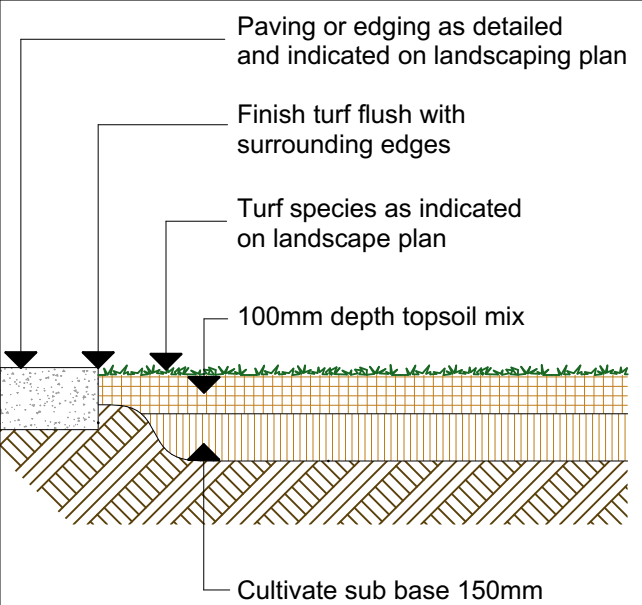
DRAWING: LANDSCAPE PLAN

PROJECT NO2020-020

SCALE: 1:100, 1:125, 1:200 @A3

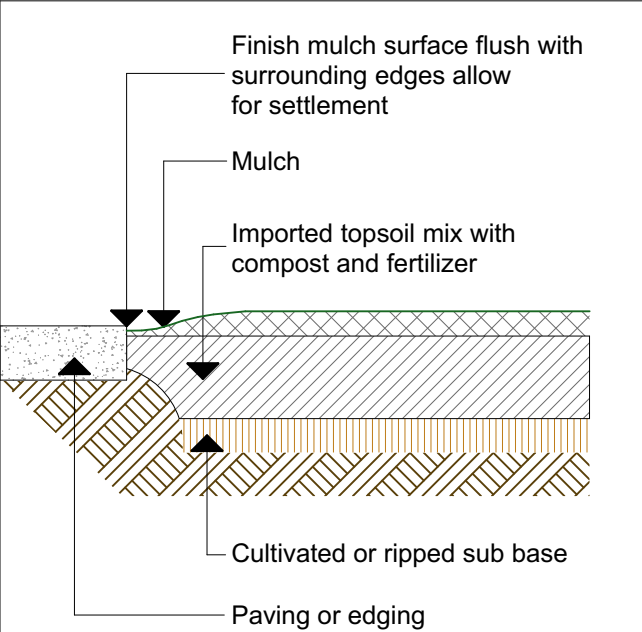
DRAWING NO: REV: PLOTTED: 3/12/22

A31



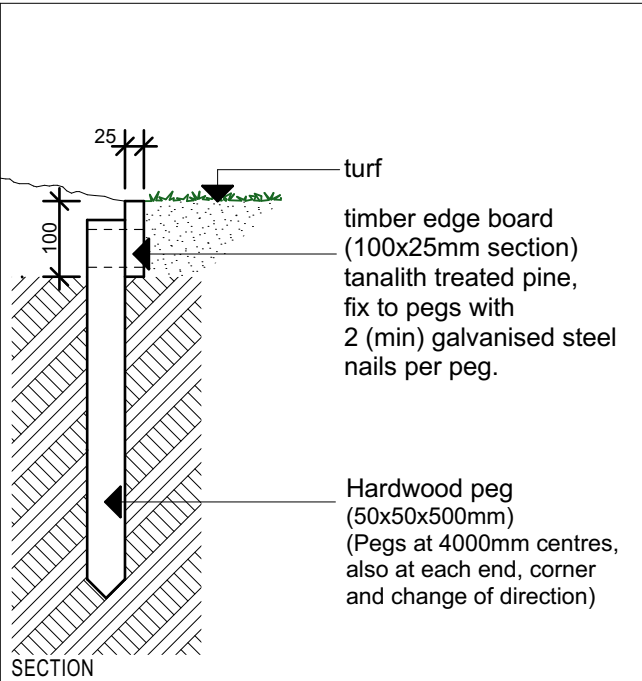
Ground preparation
Grassed area: turf using imported topsoil Detail.

Not.To.Scale.

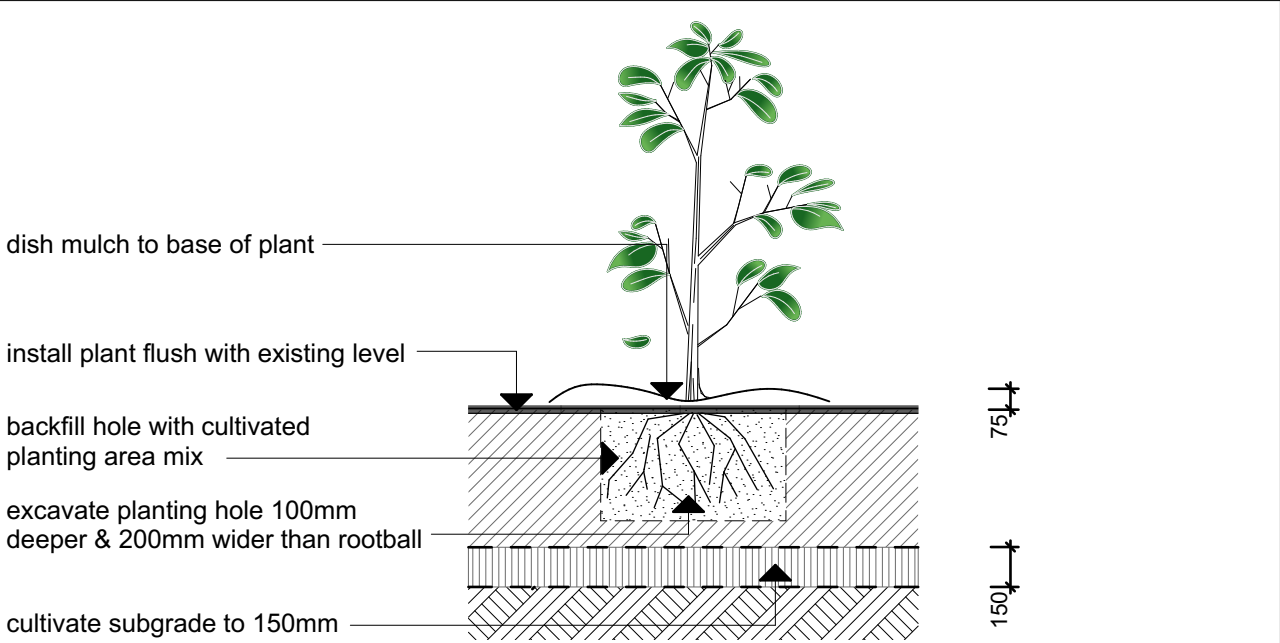


Ground preparation
Planting area using imported topsoil Detail.

Not.To.Scale.

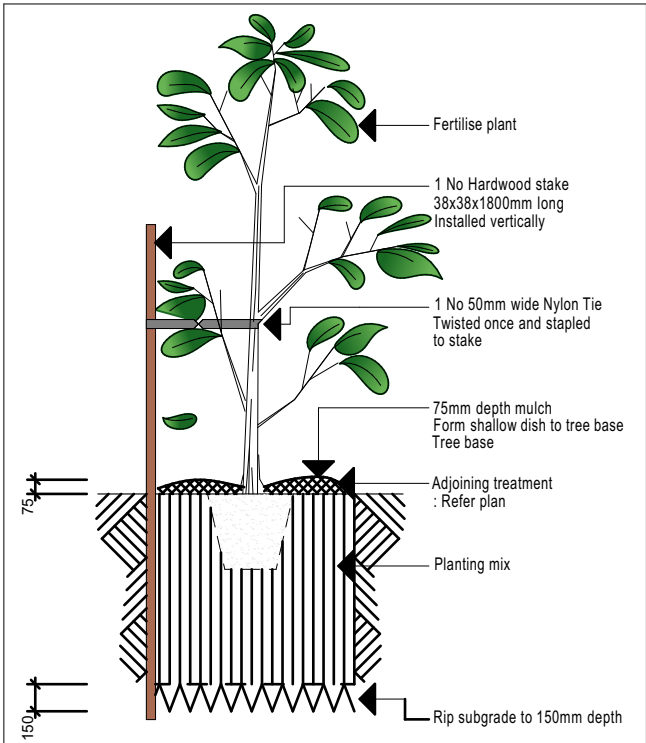


Timber edge detail



Planting in garden beds Detail.

Not.To.Scale.



15 - 35 litre Tree planting Detail.

Not.To.Scale.

RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
F	DA/CC	Amended Bathroom	22.02.21
G	DA/CC	Amended Door Heights	26.02.21
H	DA/CC	Amended for client	03.05.21
I	DA/CC	Amended Pool	22.07.21
J	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.22

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PROJECT:
Proposed Residential Dwelling

CLIENT:
Mr & Mrs Naguib

113 Woodcott Street
Earlwood NSW 2206

DRAWING:
LANDSCAPE DETAILS

PROJECT NO2020-020

SCALE: 1:100 @A3

DRAWING NO. REV:
PLOTTED: 3/10/2022

A32 [O]

General Notes:

All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work

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Levels shown are approximate unless accompanied by reduced levels.

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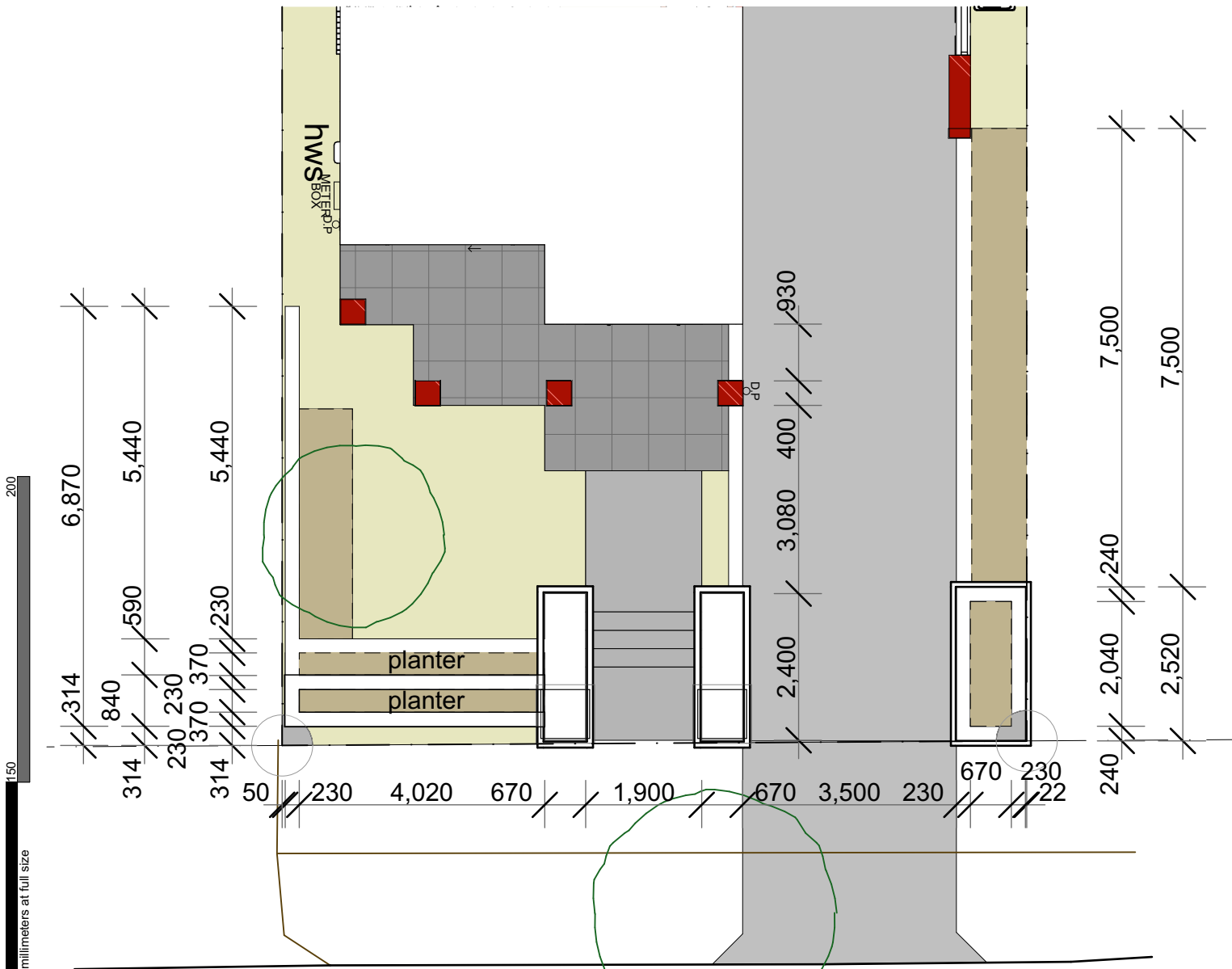
All boundary clearances must be verified by the surveyor prior to the commencement of any building works.

Where engineering drawings are required such must take preference to this drawing.

Stormwater to be discharged to Council's requirements and Australian Standards.

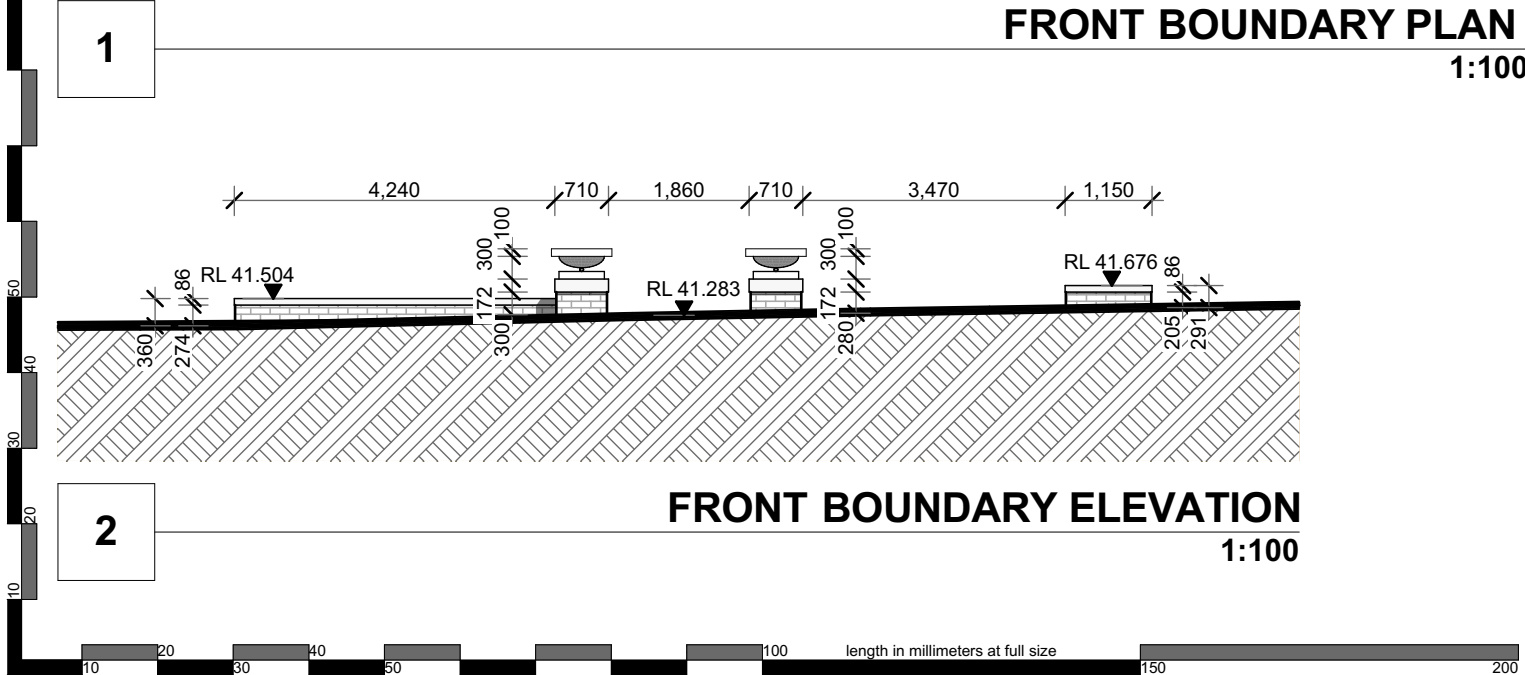
All services to be located and verified by the Builder with relevant authorities before any building work commences.

RevID	ID	Revision	Date
B	DA/CC	Issued for DA/CC	23.09.20
C	DA/CC	Issued for DA/CC	24.09.20
D	DA/CC	Issued for DA/CC	21.01.21
E	DA/CC	Issued for DA/CC	25.01.21
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O	S 4.55	Amended Windows & Facade	28.02.22



WOOLCOTT STREET

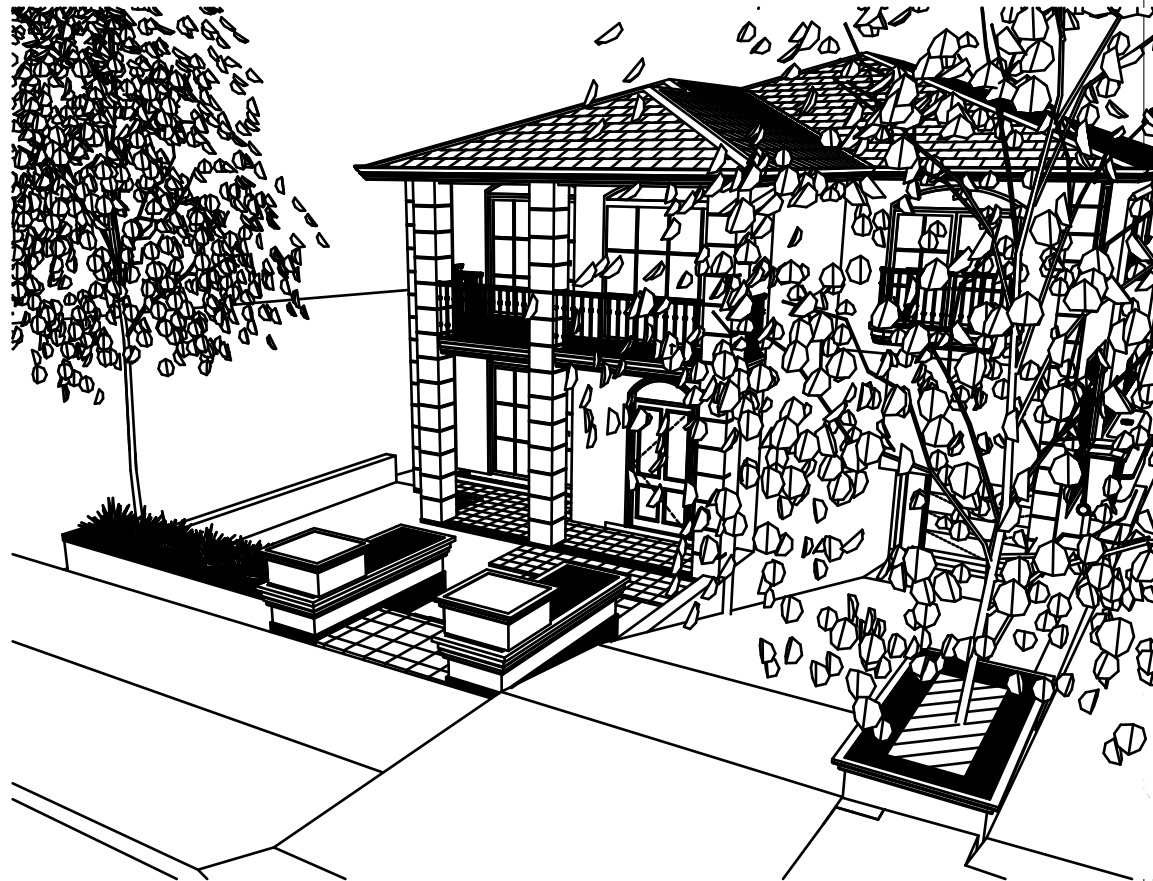
FRONT BOUNDARY PLAN
1:100



FRONT BOUNDARY ELEVATION
1:100



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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
13 Woolcott Street
Pagewood NSW 2035
DRAWING: FRONT BOUNDARY DETAILS
PROJECT NO2020-020
SCALE: 1:100, 1:250 @A3
DRAWING NO. REV.
PLOTTED: 3/10/2022
A33 [O]

General Notes:
1. All dimensions and floor areas are to be verified by the Builder prior to commencement of any building work.
2. Any discrepancies are to be brought to the attention of the designer.
3. Levels shown are approximate unless accompanied by reduced levels.
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6. Where engineering drawings are required such must take preference to this drawing.
7. Stormwater to be discharged to Council's requirements and Australian Standards.
8. All services to be located and verified by the Builder with relevant authorities before any building work commences.



1

Materiality

1:1.67

Schedule of External Finishes



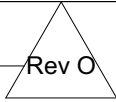
Dulux
rendered wall
China White



Monier - Horizon
Roof tiles
sambuca



Dark ash timber
Entry door finish
Dark Ash



Concrete Driveway
broom finish



Colorbond
Window frames/
garage doors/gutters & downpipes
Monument

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01 - WJP	DA/CC	Amended for client	04.05.21
	DA/CC	Amended pool	20.07.21
	DA/CC	Amended for client	22.07.21
K	DA/CC	Amended for council	10.11.21
L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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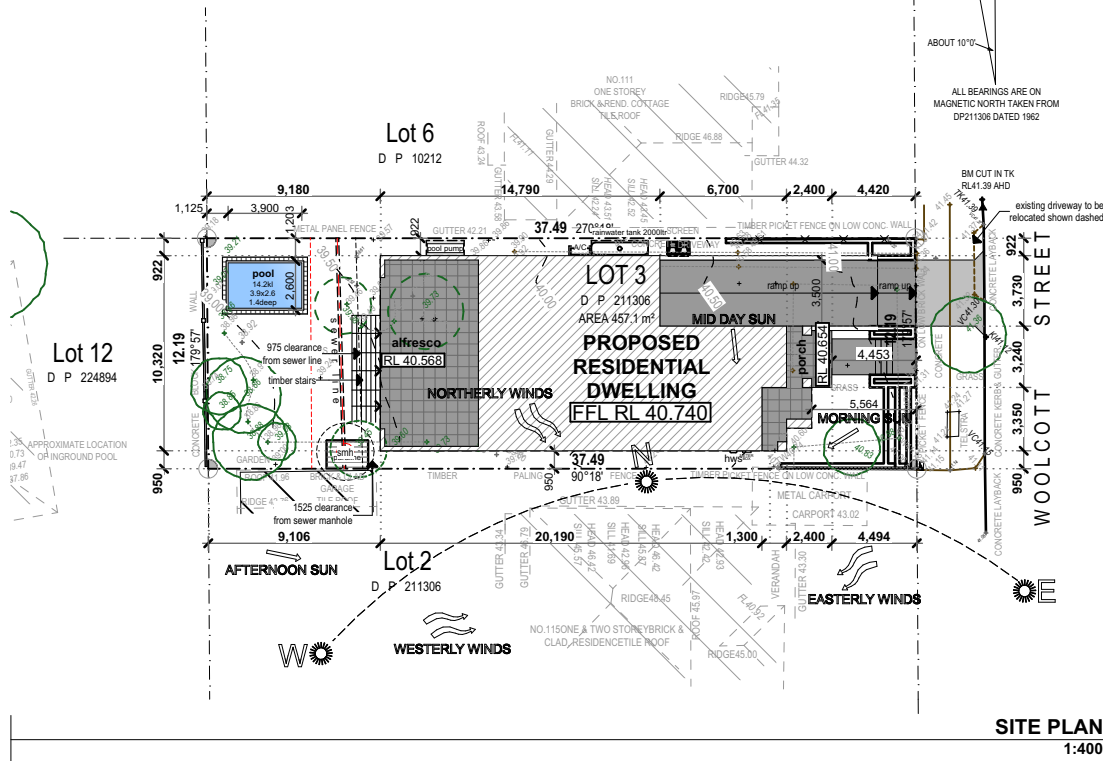
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ABN 65 614 218 192

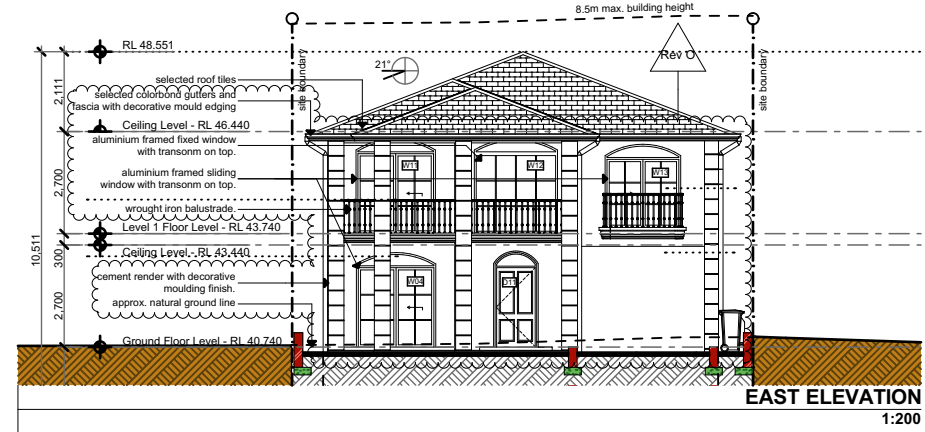
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PROJECT: Proposed Residential Dwelling
CLIENT: Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING: SCHEDULE OF EXTERNAL FINISHES

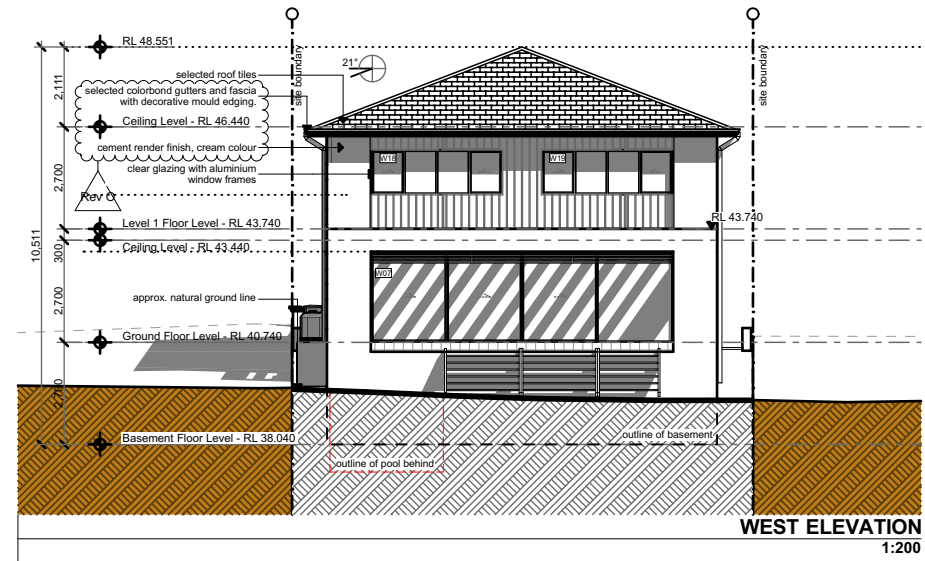
PROJECT: NO2020-020
SCALE: 1:1.67, 1:100 @A3
DRAWING NO: REV:
PLOT/REV: 3/1/2022 [O]
A34



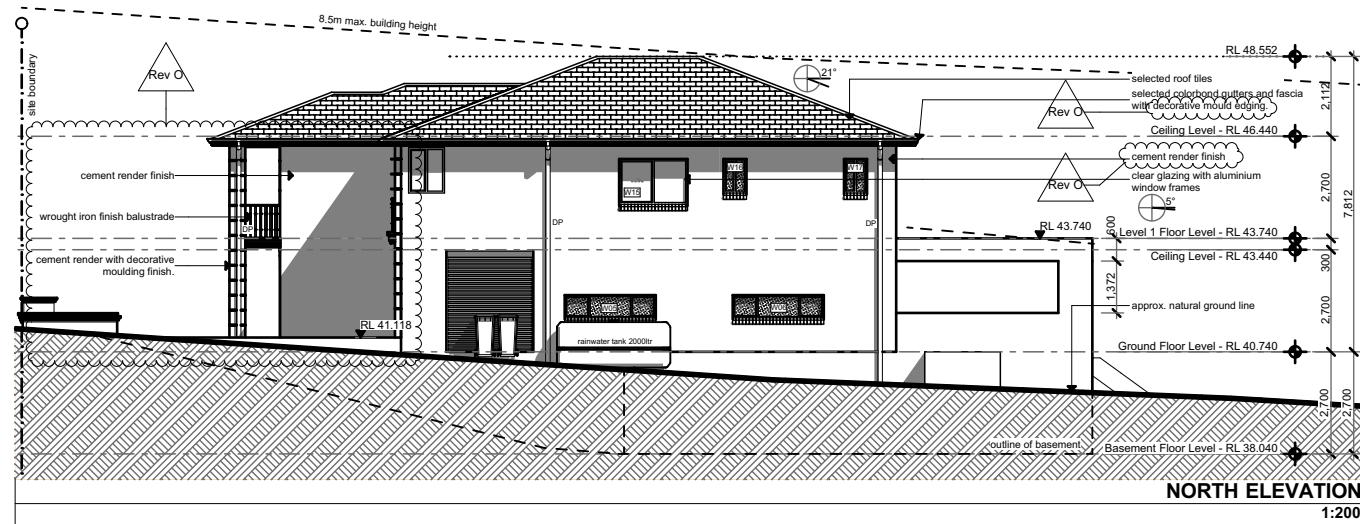
SITE PLAN
1:400



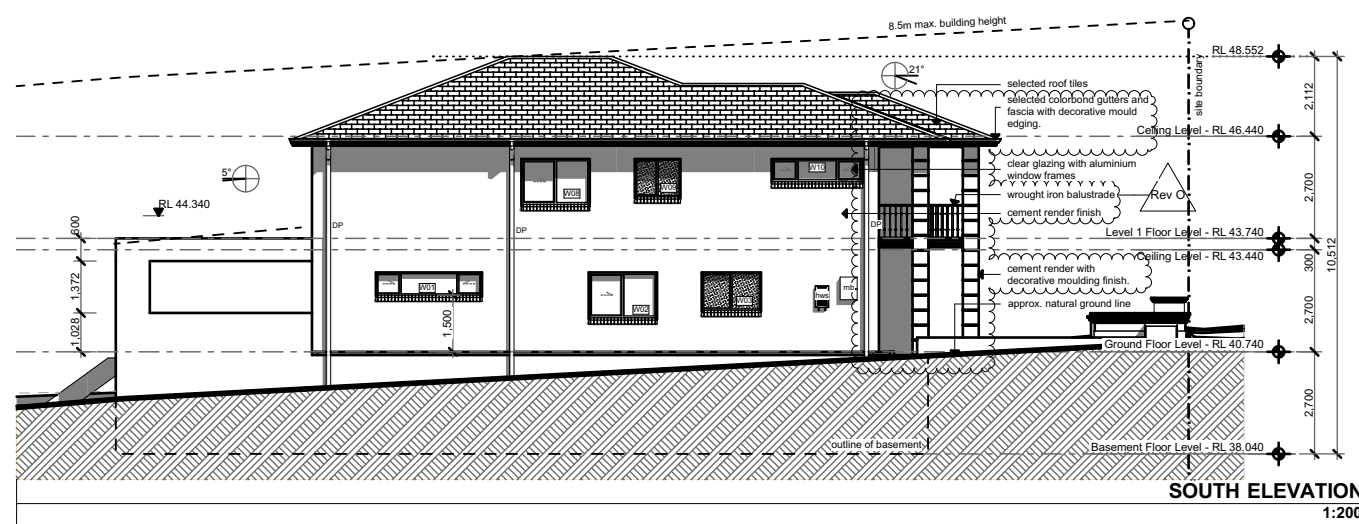
EAST ELEVATION
1:200



WEST ELEVATION
1:200



NORTH ELEVATION
1:200



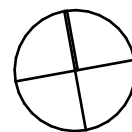
SOUTH ELEVATION
1:200

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01	DA/CC	Amended for client	04.05.21
02	DA/CC	Amended for client	20.05.21
03	DA/CC	Amended for client	22.07.21
04	DA/CC	Amended for council	10.11.21
05	DA/CC	Amended for council	02.12.21
06	DA/CC	Amended for council	07.12.21
07	DA/CC	Amended driveway	17.12.21
08	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
NOTIFICATION PLAN

PROJECT NO:2020-020
SCALE: 1:125, 1:400, 1:200 @A3
DRAWING NO: REV:
PL01760-3112022
A35 [O]



General Notes:
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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
PHOTOMONTAGE - EXISTING

PROJECT NO:2020-020
SCALE: 1:4.66 @A3
DRAWING NO: REV:
PLOT/REV: 3/1/2022
A36 **[O]**



General Notes:
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L	DA/CC	Amended for council	02.12.21
M	DA/CC	Amended for council	07.12.21
N	DA/CC	Amended driveway	17.12.21
O	S 4.55	Amended Windows & Facade	28.02.2022

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PROJECT:
Proposed Residential Dwelling
CLIENT:
Mr & Mrs Naguib
113 Woolcott Street
Earlwood NSW 2206
DRAWING:
PHOTOMONTAGE - PROPOSED

PROJECT NO:2020-020
SCALE: 1:4.66 @A3
DRAWING NO: REV:
PLOT/REV: 3/1/2022 [O]

A37